

P R O P O S E D

RESIDENTIAL CARE FACILITY

11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No.	Drawing Title	Scale	Size
DA00	- Cover Page	NTS	A1
DA01	- Site Plan	1:200	A1
DA02	- Site Analysis	1:200	A1
DA02a	- Site Analysis - Locality Plan	NTS	A1
DA02b	- View Analysis - Site Location	NTS	A1
DA03	- Lower Basement Floor Plan	1:200	A1
DA04	- Basement Floor Plan	1:200	A1
DA05	- Ground Floor Plan	1:200	A1
DA06	- First Floor Plan	1:200	A1
DA07	- Second Floor Plan	1:200	A1
DA08	- Third Floor Plan	1:200	A1
DA09	- Roof Plan	1:200	A1
DA10	- Sections (A,B & C)	1:200	A1
DA11	- Sections (D, E & F)	1:200	A1
DA12	- Section (G & H)	1:200	A1
DA13	- Elevations (North, East, South & West)	1:200	A1
DA13a	- Sections @ Boundary	1:100	A1
DA14	- Street Elevations Proposed	1:200	A1
DA15	- Street Elevation @ Frenchmans Road - Photomontage	NTS	A1
DA16	- Street Elevation @ McLennan Avenue - Photomontage	NTS	A1
DA17	- Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1
DA17a	- Shadow Diagrams Existing & Proposed (21 June 9am. & 3 pm.)	1:500	A1
DA18	- Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1
DA18a	- Direct Sun Analysis(21 June 8 am.)	NTS	A1
DA18b	- Direct Sun Analysis(21 June 9 am.)	NTS	A1
DA18c	- Direct Sun Analysis(21 June 12 pm.)	NTS	A1
DA18d	- Direct Sun Analysis(21 June 3 pm.)	NTS	A1
DA18e	- Direct Sun Analysis(21 June 4 pm.)	NTS	A1
DA18f	- 3D Image Showing Built form penetrating 12m Height	NTS	A1
DA19	- Solar Access Diagrams	NTS	A1
DA19a	- Solar Access Diagrams	NTS	A1
DA19b	- Solar Access Diagrams	NTS	A1
DA19c	- Solar Access Diagrams	NTS	A1
DA20	- Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA21	- Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA22	- Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA23	- Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA23a	- Gross Floor Area Diagram - Basement Floor Plan	1:200	A1
DA24	- Demolition Plan	1:200	A1
DA24a	- Landscape and Deep Soil Areas	NTS	A1



11-19 Frenchmans Road, Randwick, NSW

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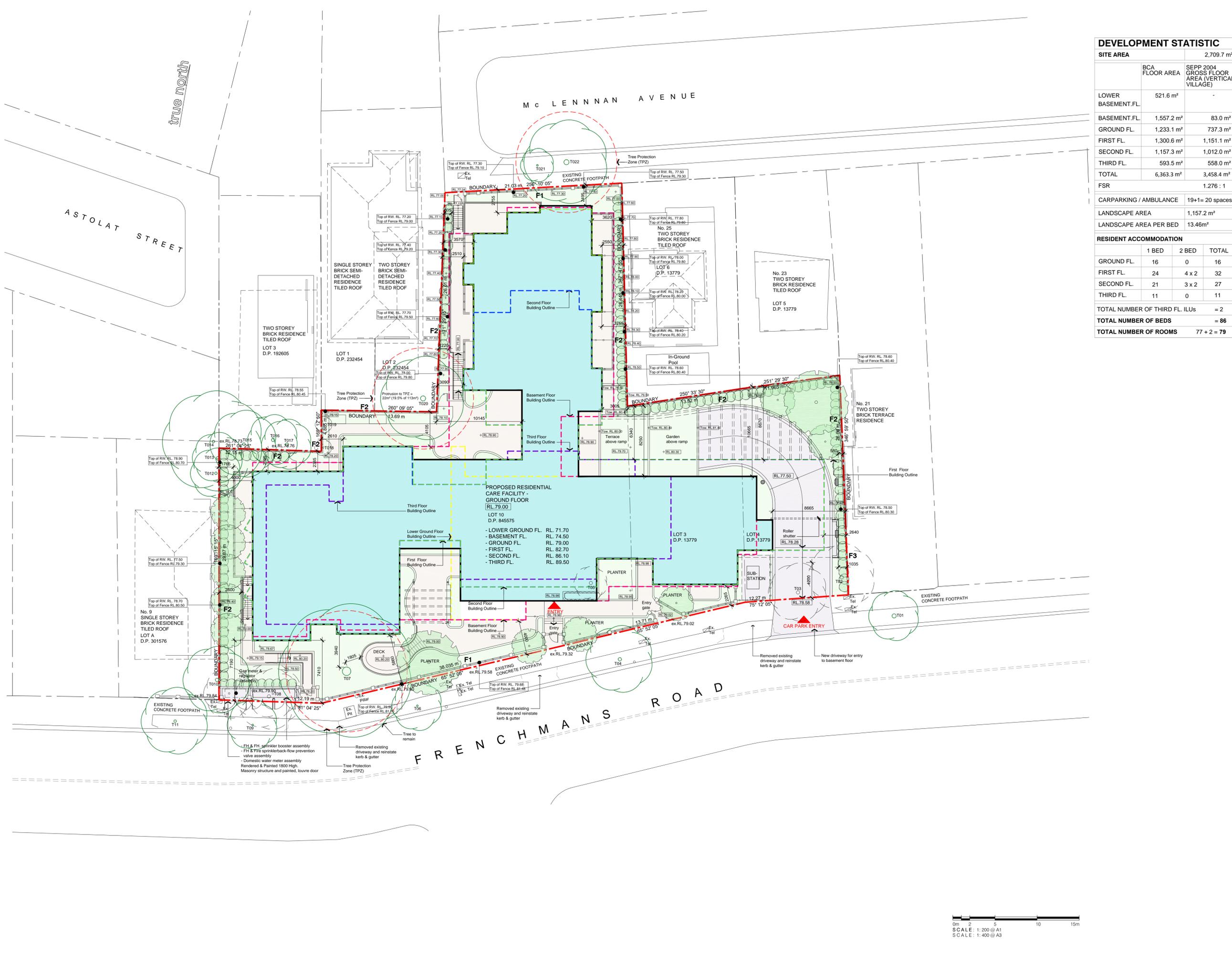


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DEVELOPMENT APPLICATION RE-ISSUE
01.06.2021

2017 DA00



DEVELOPMENT STATISTIC

SITE AREA	2,709.7 m ²	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	521.6 m ²	-
BASEMENT.FL.	1,557.2 m ²	83.0 m ²
GROUND FL.	1,233.1 m ²	737.3 m ²
FIRST FL.	1,300.6 m ²	1,151.1 m ²
SECOND FL.	1,157.3 m ²	1,012.0 m ²
THIRD FL.	593.5 m ²	558.0 m ²
TOTAL	6,363.3 m ²	3,458.4 m ²
FSR	1.276 : 1	
CARPARKING / AMBULANCE	19+1= 20 spaces	
LANDSCAPE AREA	1,157.2 m ²	
LANDSCAPE AREA PER BED	13.46m ²	

RESIDENT ACCOMMODATION

	1 BED	2 BED	TOTAL
GROUND FL.	16	0	16
FIRST FL.	24	4 x 2	32
SECOND FL.	21	3 x 2	27
THIRD FL.	11	0	11
TOTAL NUMBER OF THIRD FL. ILUs	= 2		
TOTAL NUMBER OF BEDS	= 86		
TOTAL NUMBER OF ROOMS	77 + 2 = 79		

LEGEND

	PROPOSED RCF
	BOUNDARY
	SOFT LANDSCAPE
	HARD LANDSCAPE
	FENCE TYPE 1
	FENCE TYPE 2
	+ ex RL.76.80 EXISTING LEVEL RL.
	+ [RL.76.80] NEW FINISHED LEVEL RL.
	+ [TOW RL.] PROPOSED TOP OF WALL LEVEL
	LOWER GROUND FLOOR
	BASEMENT FLOOR
	FIRST FLOOR
	SECOND FLOOR
	THIRD FLOOR
	PROPOSED ROADS AND DRIVEWAYS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

F1 1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE

F2 1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE

F3 1800H COLORBOND STEEL FENCING + EXISTING FENCE

NOTE:
- ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND Mc LENNAN AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick

Drawing
SITE PLAN



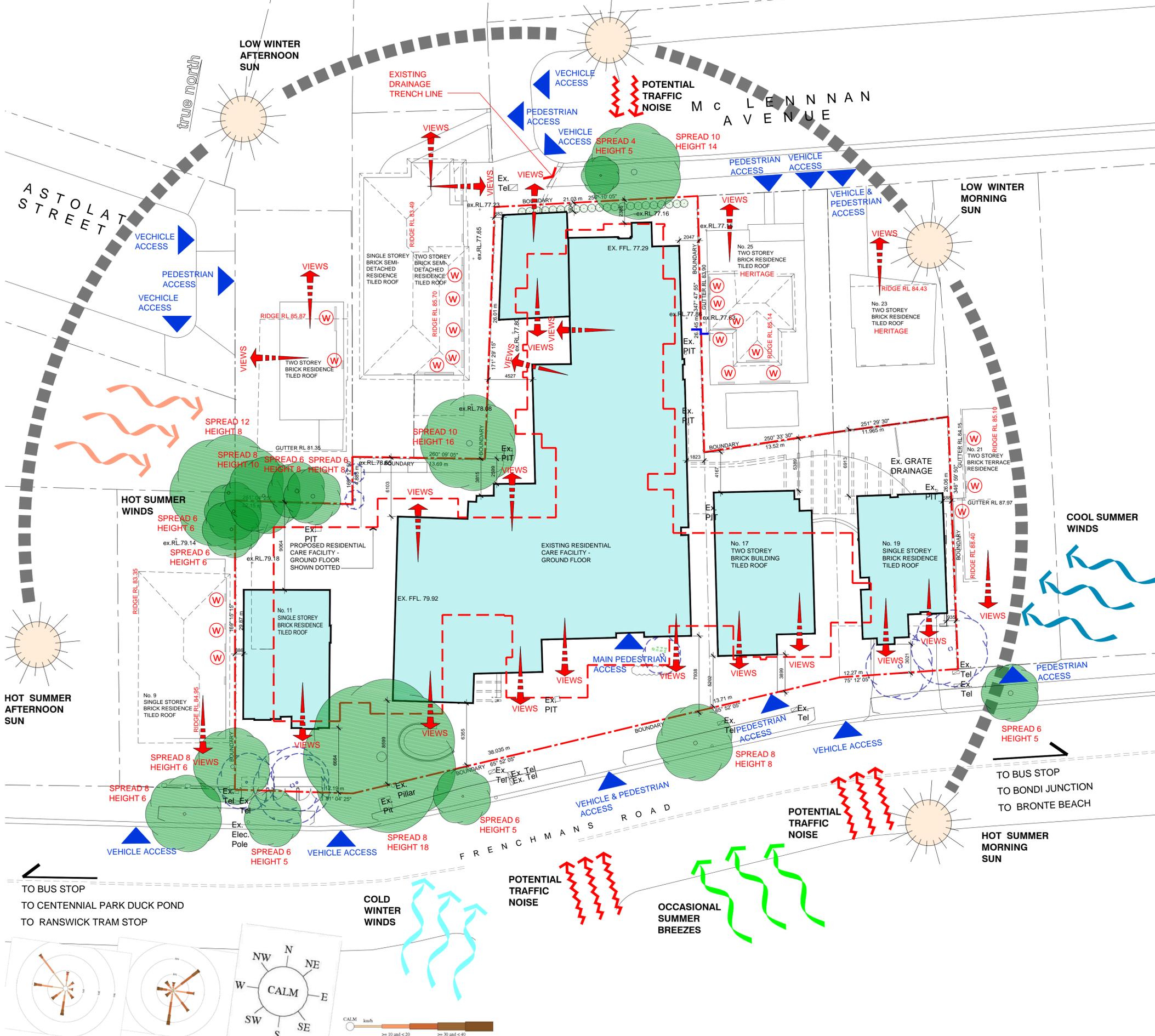
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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		1912/ DA01
Amendment	B		



SEPP PART 3 - DESIGN REQUIREMENTS

SEPP PART 3 - DESIGN REQUIREMENTS	REFER TO
Division 1 General	
39. Site analysis	
1. A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied that the applicant has taken into account a site analysis prepared by the applicant in accordance with this clause.	This drawing
2. A site analysis must:	
A. Contain information about the site and its surrounds as described in subclauses (3) and (4), and	Please refer below
B. Be accompanied by a written statement (supported by plans including drawings of sections and elevations and, in the case of proposed development on land adjoining land zoned primarily for urban purposes, an aerial photograph of the site):	Design Statement
i. Explaining how the design of the proposed development has regard to the site analysis, and	Design Statement
ii. Explaining how the design of the proposed development has regard to the design principles set out in Division 2.	Design Statement
3. The following information about a site is to be identified in a site analysis:	
A. Site dimensions:	
• Length	Survey Plans
• Width	Survey Plans
B. Topography:	
• spot levels and/or contour	Survey Plans
• north point	All Plans
• natural drainage	Civil Drawings
• any contaminated soils or filled areas	Site Investigation Report
C. Services:	
• easements	N/A
• connections for drainage and utility services	Civil Drawings
D. Existing vegetation:	
• location	Survey Plans
• height	Survey Plans
• spread of established trees	Survey Plans
• species	Arboreal Report
E. Micro climates:	
• orientation	This drawing
• prevailing winds	This drawing
F. Location of:	
• buildings and other structures	This drawing and DA01 - Site Plan
• heritage features and items including archaeology	This drawing, DA01 - Site Plan & DA05 - Ground Floor Plan
• fences	All plans
• pedestrian and vehicle access	This drawing, DA15/DA16 - Street elevation & Perspectives, DA17/DA18 - Shadow Diagrams
G. Views to and from the site	
H. Overshadowing by neighbouring structures	
4. The following information about the surrounds of a site is to be identified in a site analysis:	
A. Neighbouring buildings:	
• location	Survey Plans
• height	Survey Plans
• use	Survey Plans
• balconies on adjacent properties	Survey Plans
• pedestrian and vehicle access to adjacent properties	Survey Plans
B. Privacy:	
• adjoining private open spaces	Survey Plans
• living room windows overlooking site	Survey Plans
• location of any facing doors and/or windows	Survey Plans
C. Walls built to the site's boundary:	
• location	DA01 - Site Plan
• height	DA01 - Site Plan
• materials	DA01 - Site Plan
D. Difference in levels between the site and adjacent properties at their boundaries	Survey Plans
E. Views and solar access enjoyed by neighbouring properties	This drawing
F. Major trees on adjacent properties	Survey Plans
G. Street frontage features:	
• poles	Survey Plans
• trees	Survey Plans
• kerb crossovers	Survey Plans
• bus stops	Survey Plans
• other services	Survey Plans
H. The built form and character of adjacent development (including buildings opposite on both sides of the street(s) fronted):	
• architectural character	All plans, This drawing, DA01 - Site Plan, DA05 - Ground Floor Plan & DA14 - Street Elevations Proposed
• front fencing	Landscaping
• garden styles	Landscaping
I. Heritage features of surrounding locality and landscape	Heritage Report, DA02a - Site Analysis Locality Plan
J. Direction and distance to local facilities:	
• local shops	DA02a - Site Analysis Locality Plan
• schools	DA02a - Site Analysis Locality Plan
• public transport	DA02a - Site Analysis Locality Plan
• recreation and community facilities	Traffic Report, DA02a - Site Analysis Locality Plan
K. Public open space:	
• location	DA02a - Site Analysis Locality Plan
• use	DA02a - Site Analysis Locality Plan
L. Adjoining bushland or environmentally sensitive land	N/A
M. Sources of nuisance:	
• flight paths	N/A, DA02a - Site Analysis Locality Plan
• noisy roads or significant noise sources	This drawing, DA02a - Site Analysis Locality Plan
• polluting operations	N/A

LEGEND

- OUTLINE OF EXISTING SUMMITCARE BUILDING G/F
- OUTLINE OF PROPOSED SUMMITCARE BUILDING G/F
- BOUNDARY
- VIEWS
- PEDESTRIAN OR VEHICLE ACCESS
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE DEMOLISHED
- PROPOSE 1800H FENCE AND LANDSCAPE SCREENING FOR PRIVACY SCREENING REFER TO LANDSCAPE DOCUMENTS FOR DETAIL
- OCCASIONAL SUMMER BREEZES
- COOL SUMMER WINDS
- HOT SUMMER WINDS
- COLD WINTER WINDS
- TRAFFIC NOISE
- WINDOW OF NEIGHBOURING BUILDINGS

NOTES:

- REFER TO SURVEY DWGS FOR NEIGHBOURING PROPERTIES' WINDOWS AND DOORS SILL AND HEAD HEIGHTS.
- PLANT SPECIES REFER TO ARBORIST REPORT
- REFER TO DA01 - SITE PLAN FOR FENCING TYPES, RETAINING WALLS LOCATION, HEIGHT AND DETAILS



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Project
SUMMIT CARE
11-19 Frenchmans Road, Randwick

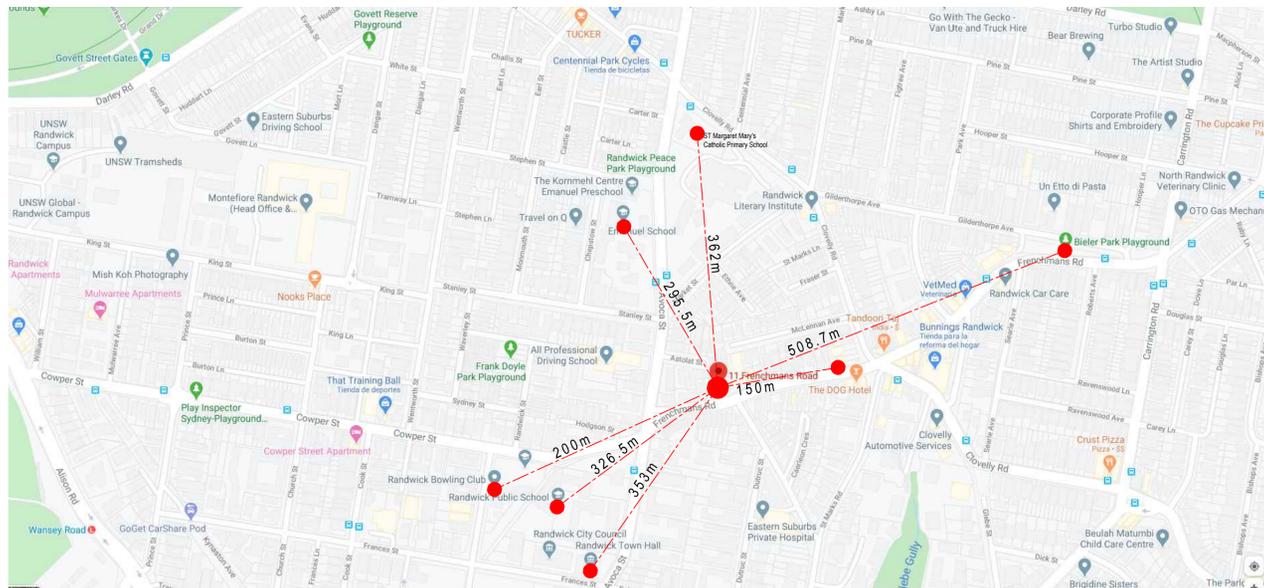
Drawing
SITE ANALYSIS

summitcare
WARRATH WORTH WELLBEING

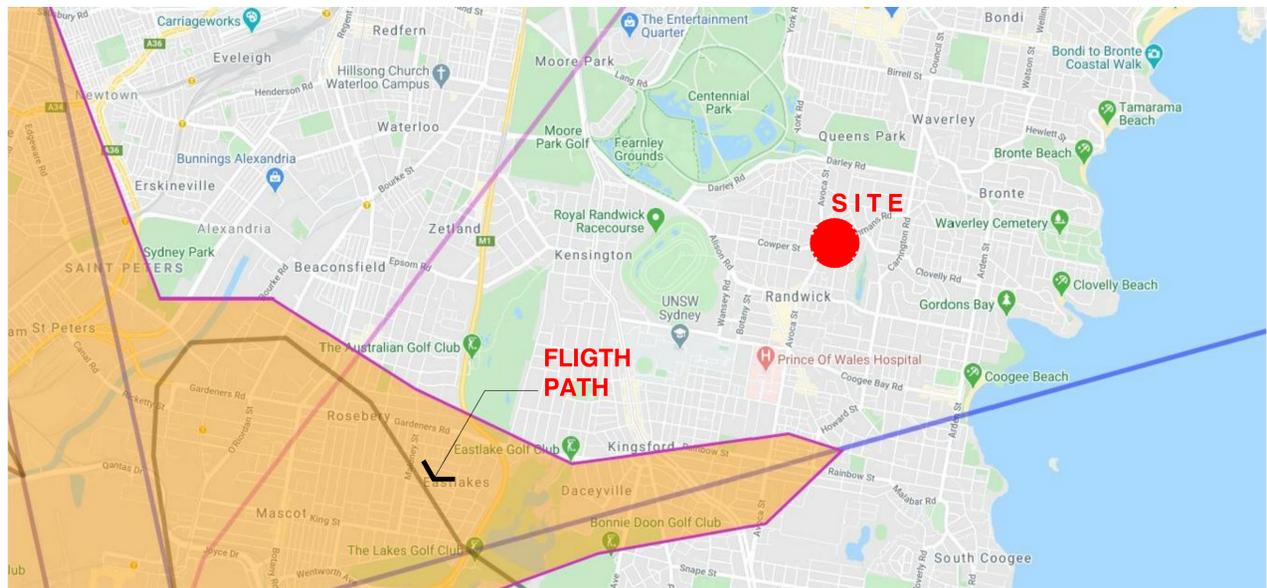
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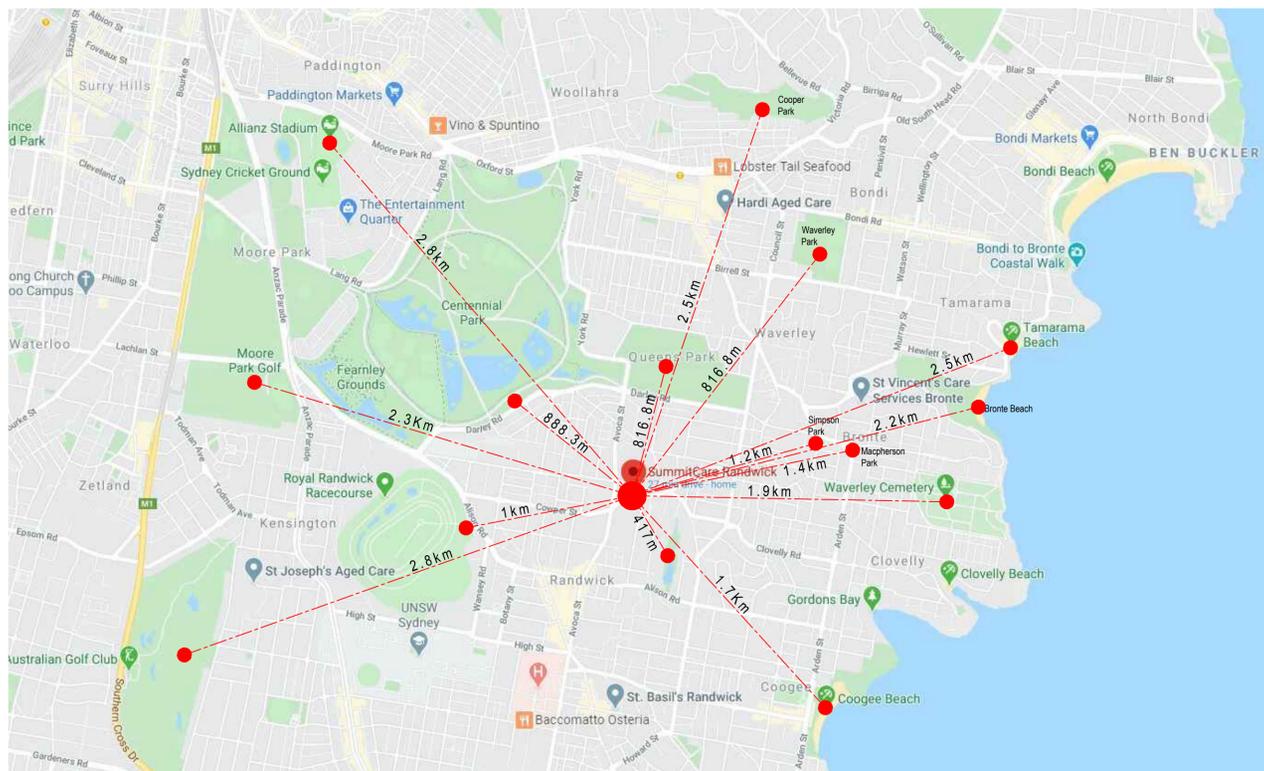
Date: JULY 2019 Job No.: Drawing
Scale: AS SHOWN
Drawn: SS
Amendment: B
1912 / DA02



DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN



FLIGHT PATH PLAN



PUBLIC OPEN SPACE PLAN



LOCATION PLAN

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick

Drawing
SITE ANALYSIS - LOCALITY PLAN



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Date	JULY 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		
Amendment	B		



A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick

Drawing
VIEW ANALYSIS SITE LOCATION



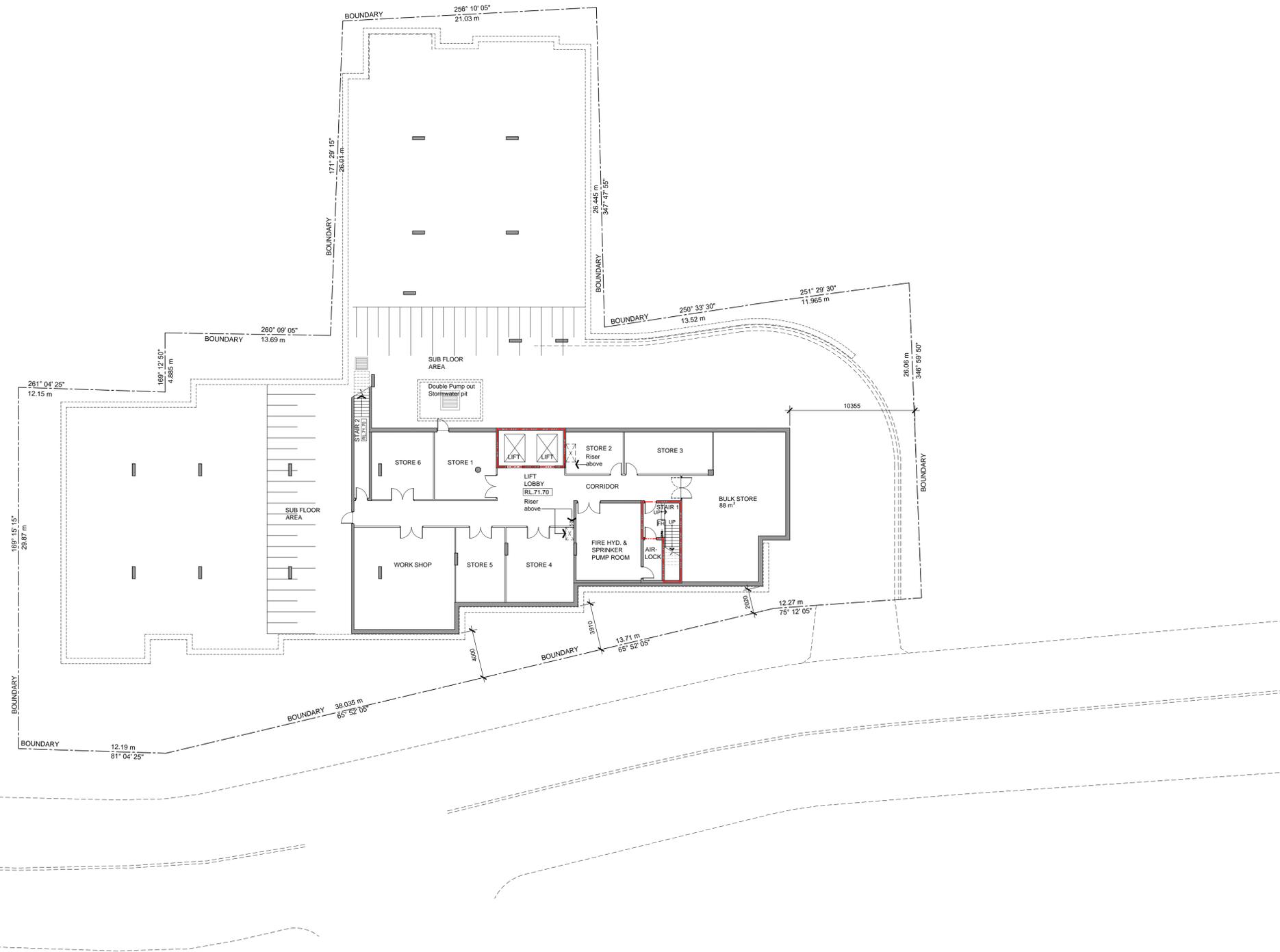
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Date	JULY 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn			1912/ DA02b
Amendment	A		



LEGEND

---	BOUNDARY
=====	MASONRY WALL
-----	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
[Symbol]	PROPOSED DOOR
[Symbol]	PROPOSED WINDOW
[Symbol]	MOBILE BATH
[Symbol]	CEILING FAN
[Symbol]	EXISTING TREES TO REMAIN
[Symbol]	EXISTING TREES TO BE REMOVED
[Symbol]	NEW TREES

ACOUSTIC REQUIREMENTS

[Symbol]	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
[Symbol]	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
[Symbol]	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m ² K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29

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No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
LOWER BASEMENT FLOOR PLAN



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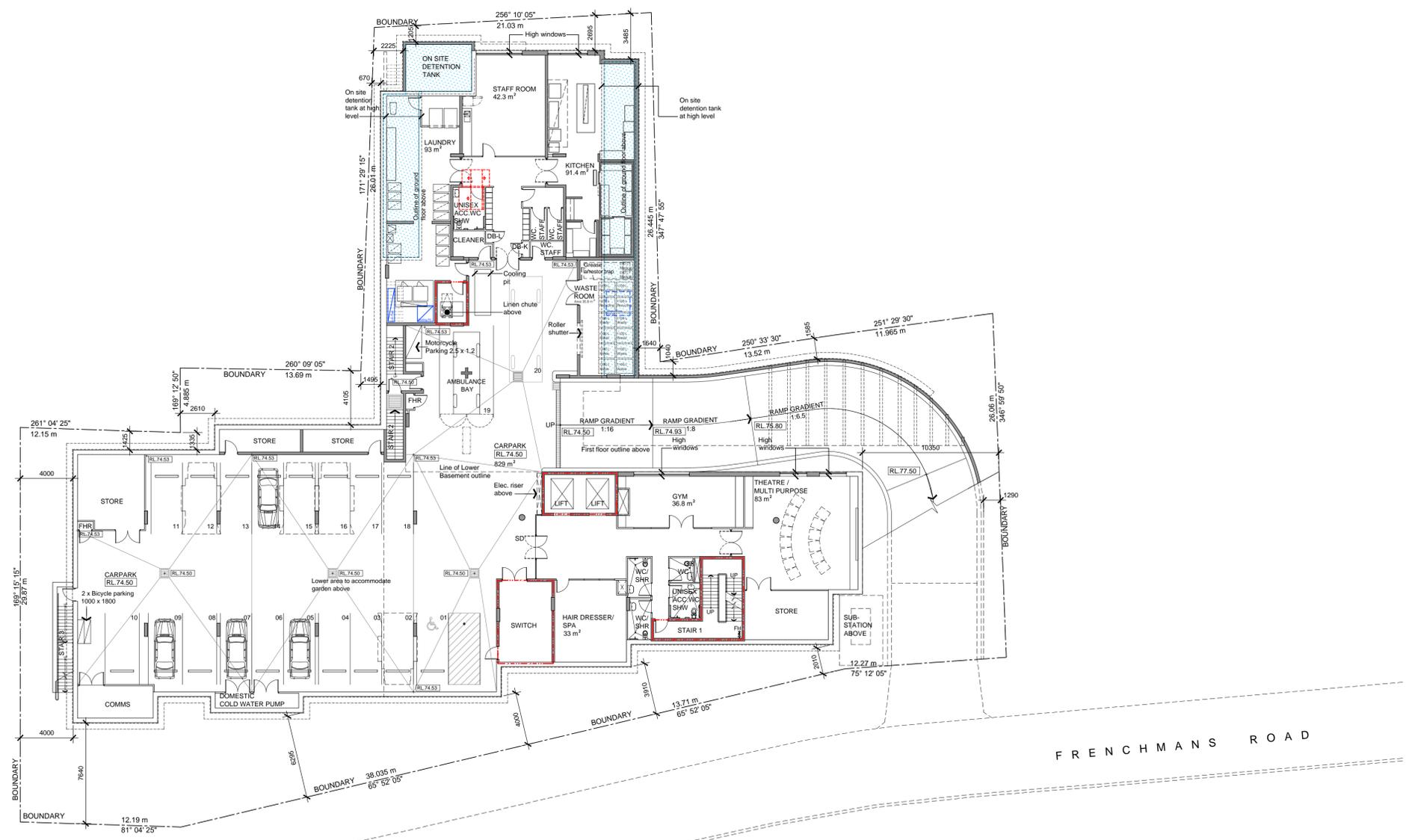


Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		1912 / DA03
Amendment	B		

LEGEND	
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

ACOUSTIC REQUIREMENTS	
	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS			
Envelope Construction	Total System R-Value (m ² K/W)		
J1.3 Roof and ceiling construction	≥ 3.70		
J1.4 Roof lights	N/A		
J1.5a Total System external wall construction (all facades)	≥ 2.39		
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00		
J1.6b Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



FRENCHMANS ROAD

FRENCHMANS ROAD

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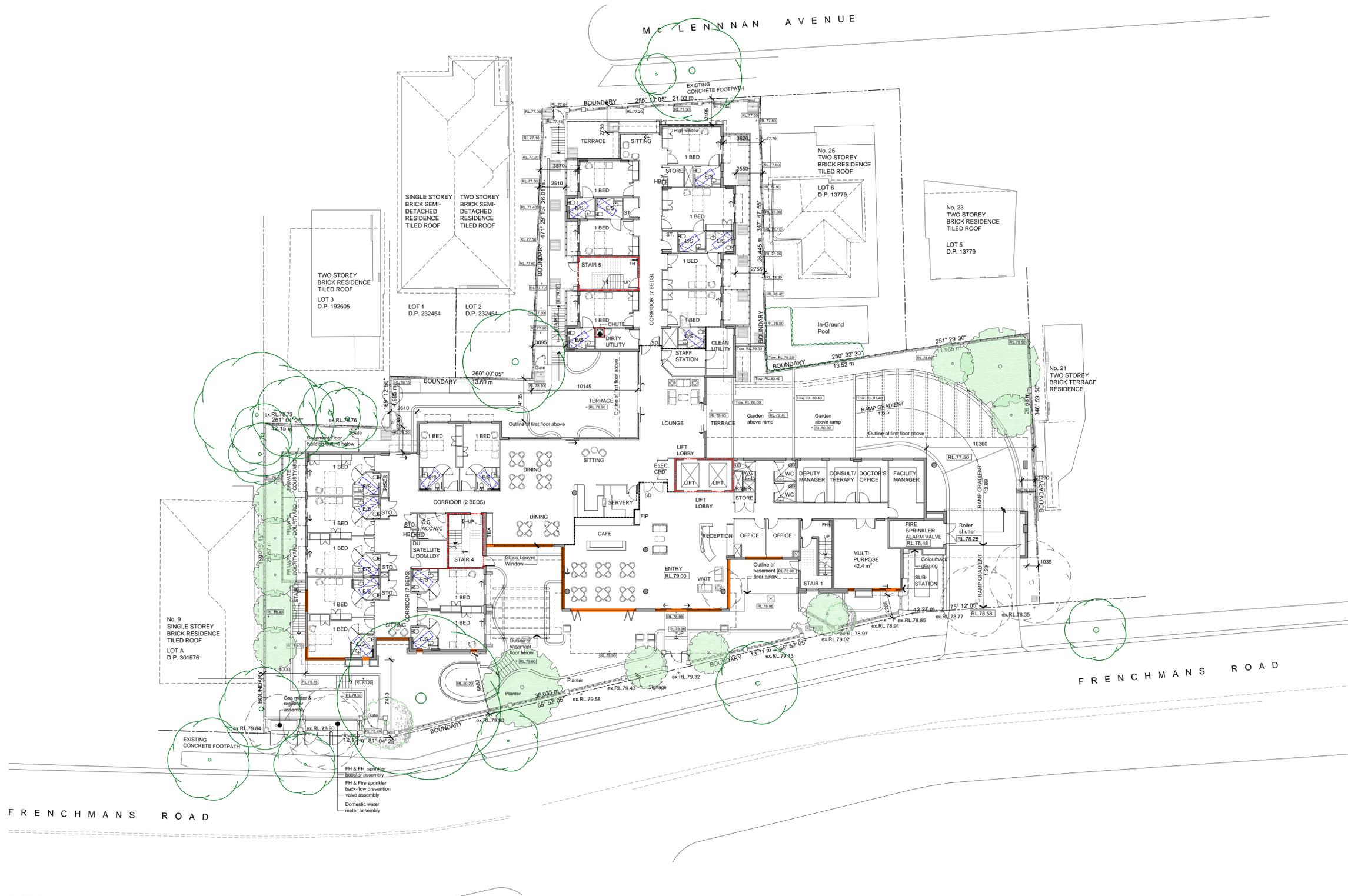
Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
BASEMENT FLOOR PLAN



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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA04
Amendment	B		



LEGEND

---	BOUNDARY
▬	MASONRY WALL
▬	STUD WALL
---	OUTLINE OF WALL ABOVE / BELOW
---	ROOF OUTLINE
---	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
⌋	PROPOSED DOOR
⌋	PROPOSED WINDOW
□	MOBILE BATH
⊙	CEILING FAN
⊙	EXISTING TREES TO REMAIN
⊙	EXISTING TREES TO BE REMOVED
⊙	NEW TREES

ACOUSTIC REQUIREMENTS

▬	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
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NCC 2019 - SECTION J REQUIREMENTS

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Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
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No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
GROUND FLOOR PLAN



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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA05
Amendment	B		



LEGEND

---	BOUNDARY
▬	MASONRY WALL
▬	STUD WALL
---	OUTLINE OF WALL ABOVE / BELOW
---	ROOF OUTLINE
---	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
⌋	PROPOSED DOOR
⌋	PROPOSED WINDOW
□	MOBILE BATH
⊙	CEILING FAN
⊙	EXISTING TREES TO REMAIN
⊙	EXISTING TREES TO BE REMOVED
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ACOUSTIC REQUIREMENTS

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Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
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No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
FIRST FLOOR PLAN



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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017/ DA06
Amendment	B		



LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

ACOUSTIC REQUIREMENTS

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NCC 2019 - SECTION J REQUIREMENTS

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No.	Amendment	Date

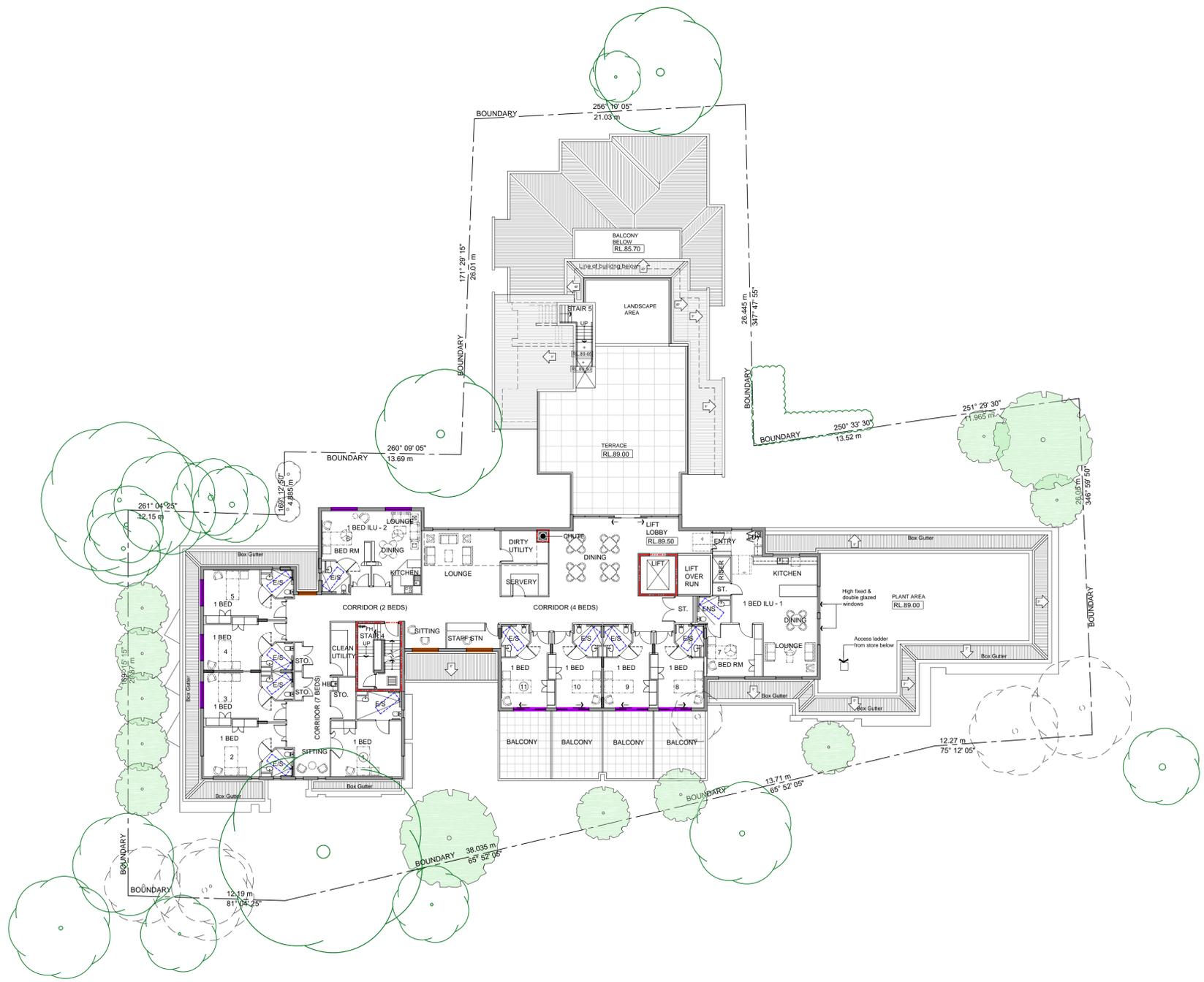
Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
SECOND FLOOR PLAN



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Date	JAN 2019	Job No.	: Drawing
Scale	1:200@A1		
Drawn	SS		2017/ DA07
Amendment	B		



BASIX and Thermal Comfort Inclusions

Floors	Concrete between levels, no insulation required
Walls	External walls: Brick Veneer with R2.0 insulation (insulation only value) External colour: Medium (0.475<SA<0.7) Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required. Internal walls (within units): Plasterboard on studs
Windows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%) Given values are AFRC total window system values (glass and frame) Note: Operability modelled as per BASIX Thermal Protocol - 4.14.2 and NatHERS Technical Note 1.2 - 10.11 with regards to restricted openings
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above Plasterboard ceiling, no insulation where neighbouring units are above. Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m ²
Roof	Metal roof with foil backed blanket (Ru 1.3 and R01.3) External colour: Dark (SA > 0.7)
Floor coverings	Tiles to throughout
Hot water system	Central gas-fired boiler with R1.0 (-38mm) insulation to ring main and supply risers
Fixtures	Showerheads: 4.0 star low flow (>4.5L but <=6.0L/min) Toilets: 4.0 star Kitchen taps: 5.0 star Bathroom vanity taps: 5.0 star
Cooling systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 3 star
Heating systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 3 star
Appliances	Dish washer: 3.0 star water & 4.0 star energy rating Clothes washer: 3.0 star water & 4.0 star energy rating Clothes dryer: 6.0 star energy rating Refrigerator: 3.5 star energy rating
Ventilation in units	Kitchen - Individual fan, externally ducted to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch Laundry - Individual fan, externally ducted to façade, manual on/off switch
Other	Electric cooktop & electric oven Well-ventilated fridge space Air conditioning day-night zoned between bedrooms and living areas

LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m ² K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

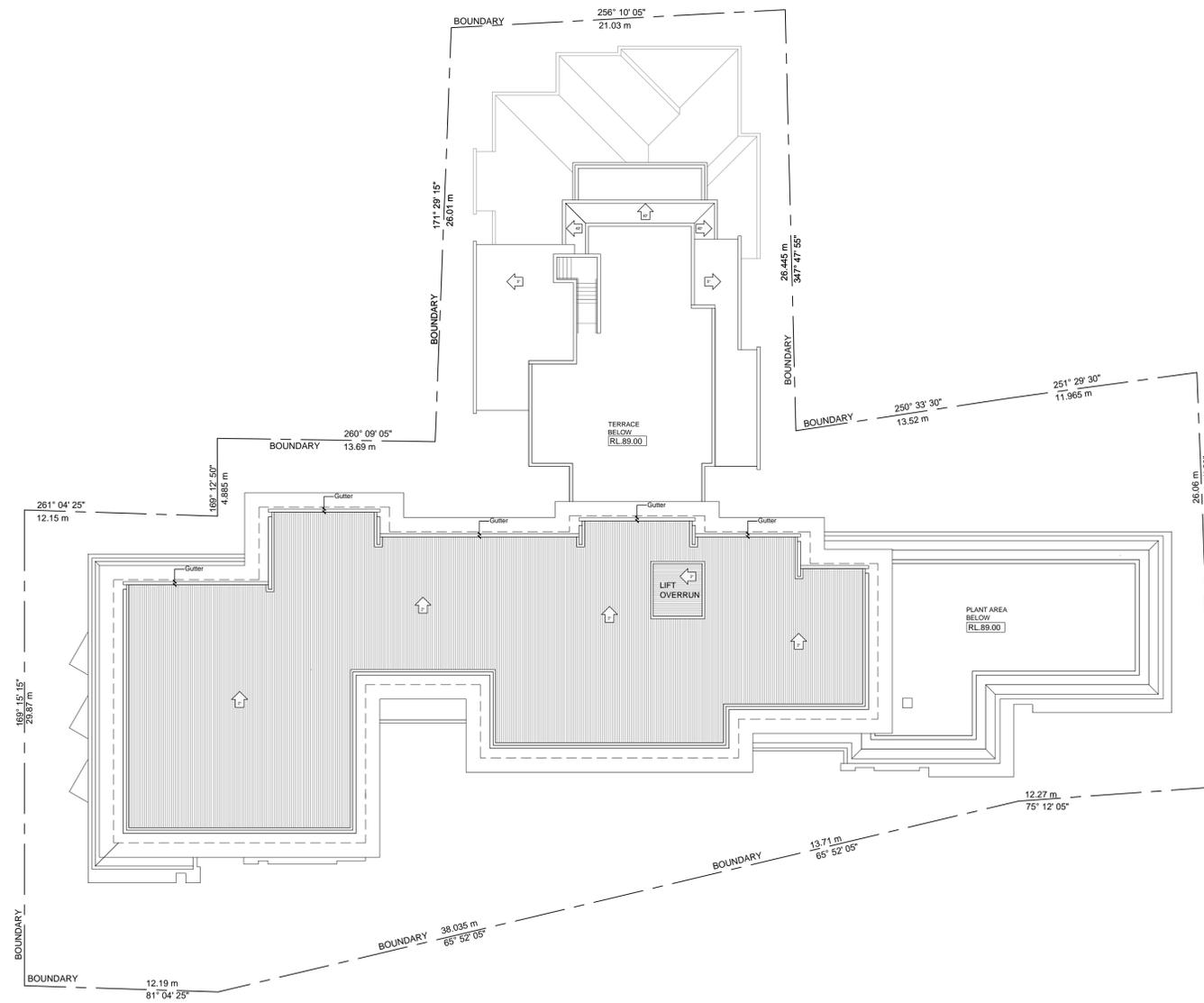
Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
THIRD FLOOR PLAN

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 architecture, health and aged care planning, project management

obr
 199g

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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA08
Amendment	B		



LEGEND	
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

ACOUSTIC REQUIREMENTS	
	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS				
Envelope Construction		Total System R-Value (m ² K/W)		
J1.3	Roof and ceiling construction	≥ 3.70		
J1.4	Roof lights	N/A		
J1.5a	Total System external wall construction (all facades)	≥ 2.39		
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00		
J1.6b	Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC	
J1.6c	Total Window Frame construction	All facades	≤ 4.00	≤ 0.29

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

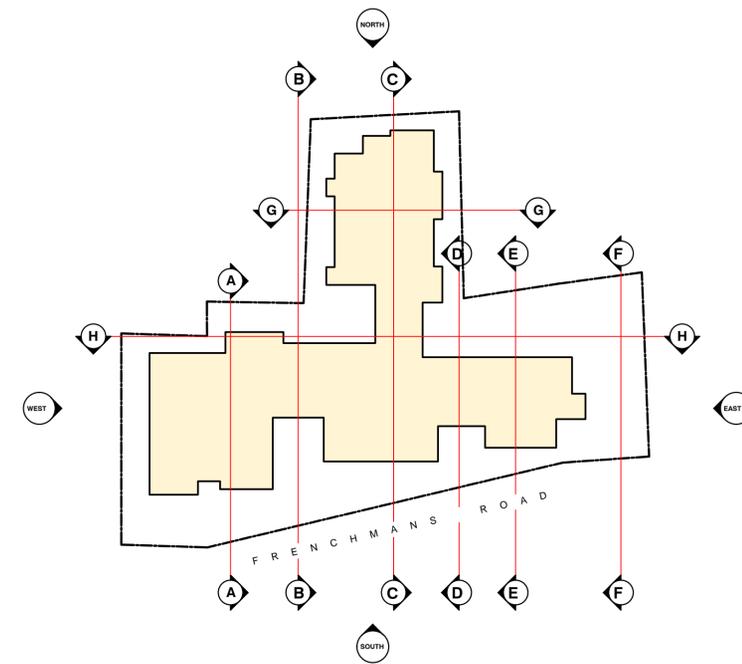
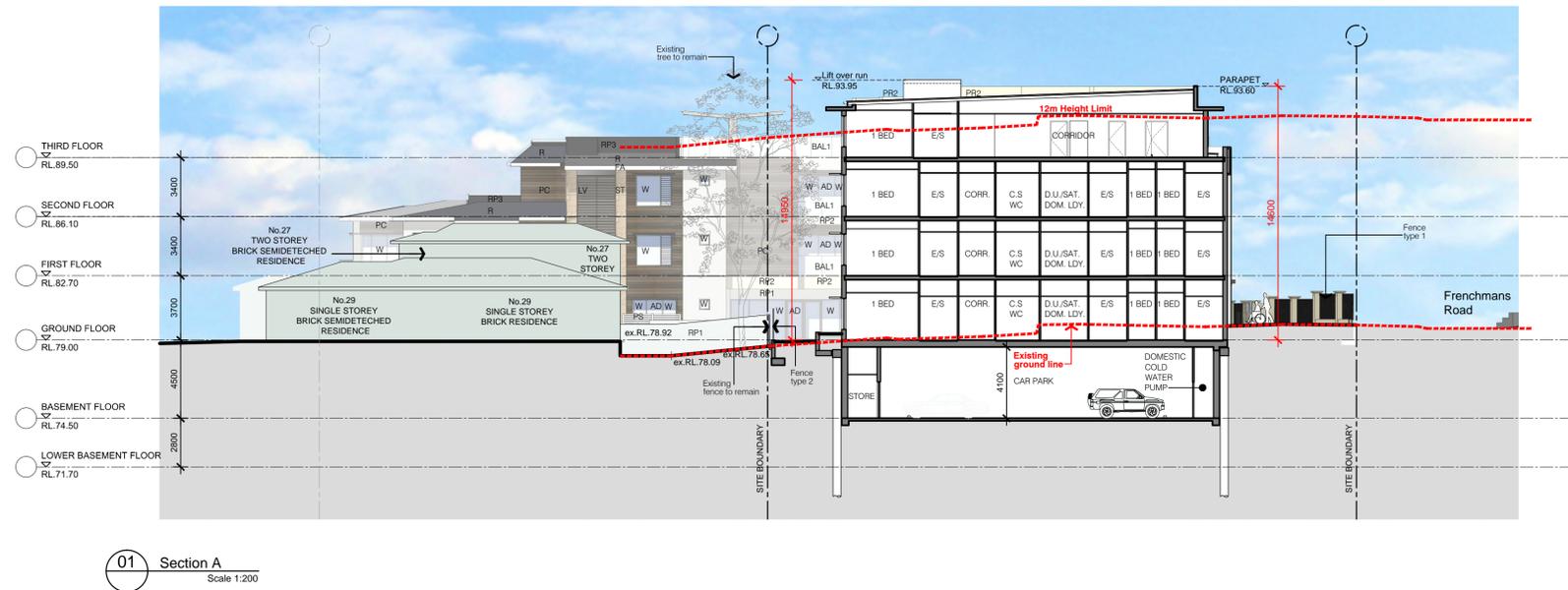
Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
ROOF PLAN



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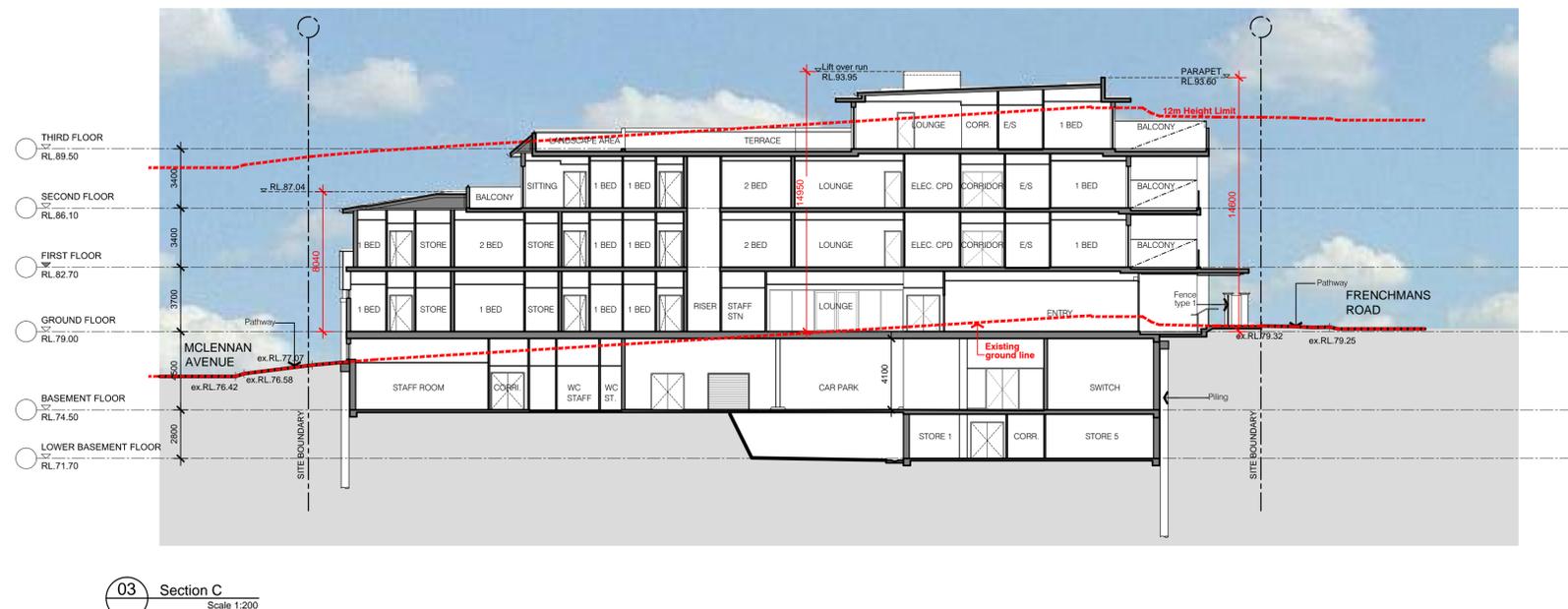
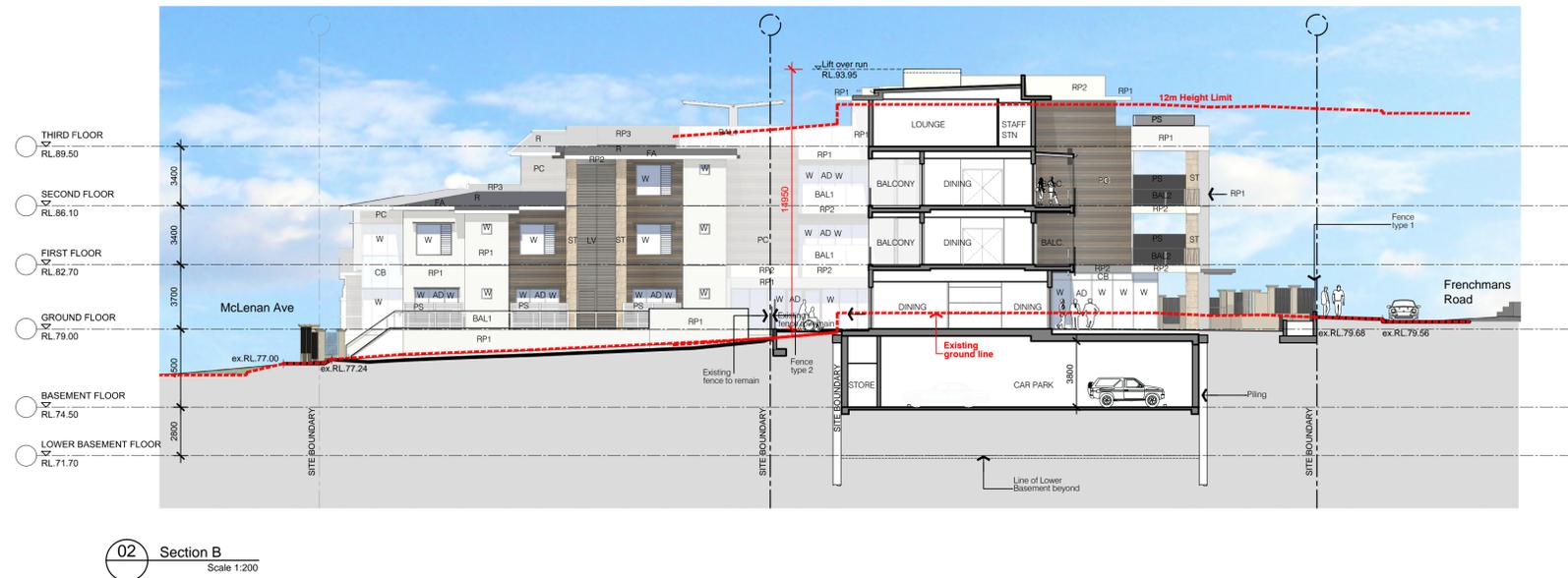
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA09
Amendment	B		



LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

NOTE:
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
SECTIONS (A, B & C)



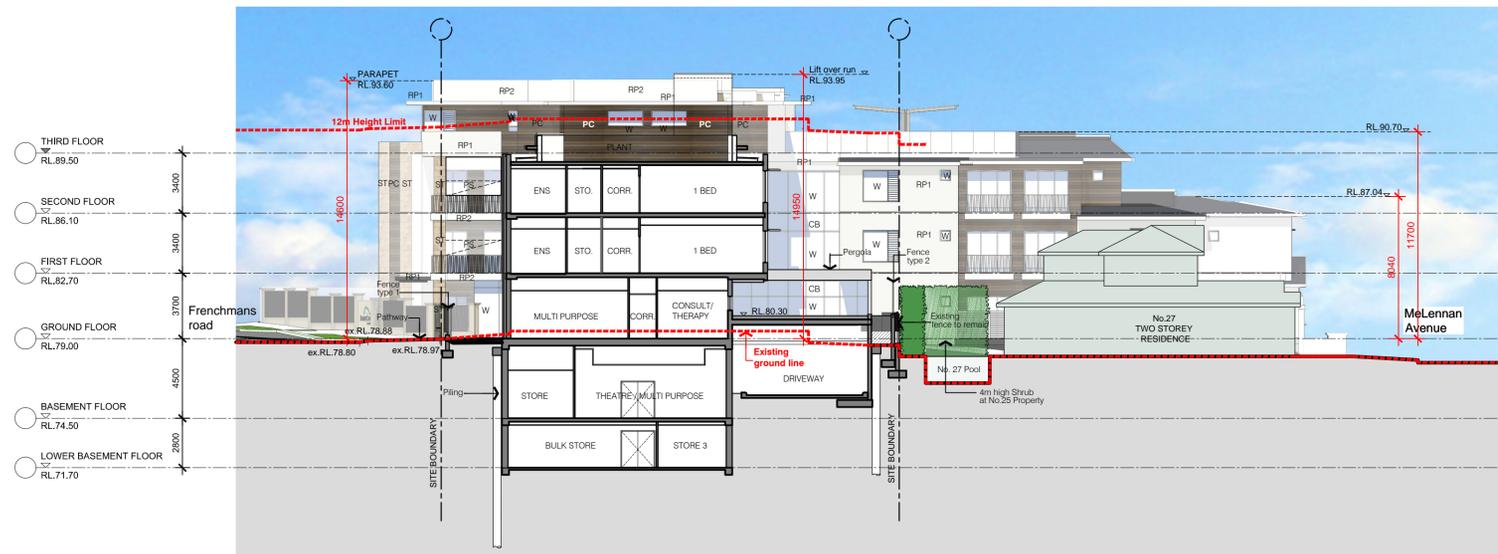
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Cherrywood NSW 2007
AUSTRALIA
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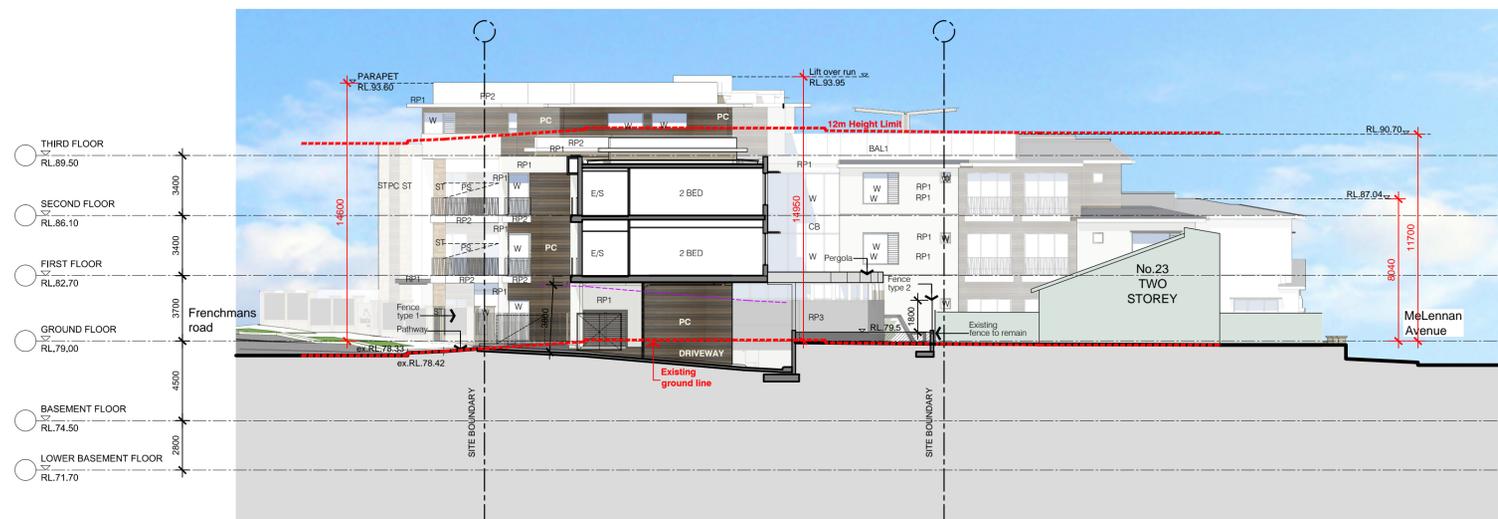
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW/SS		1912/ DA10
Amendment	B		



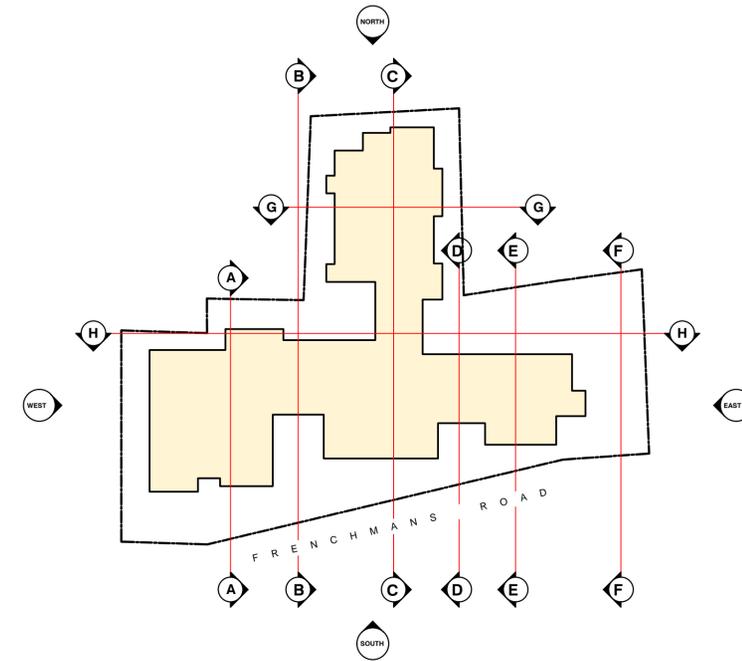
04 Section D
Scale 1:200



05 Section E
Scale 1:200



06 Section F
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
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F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

NOTE:
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

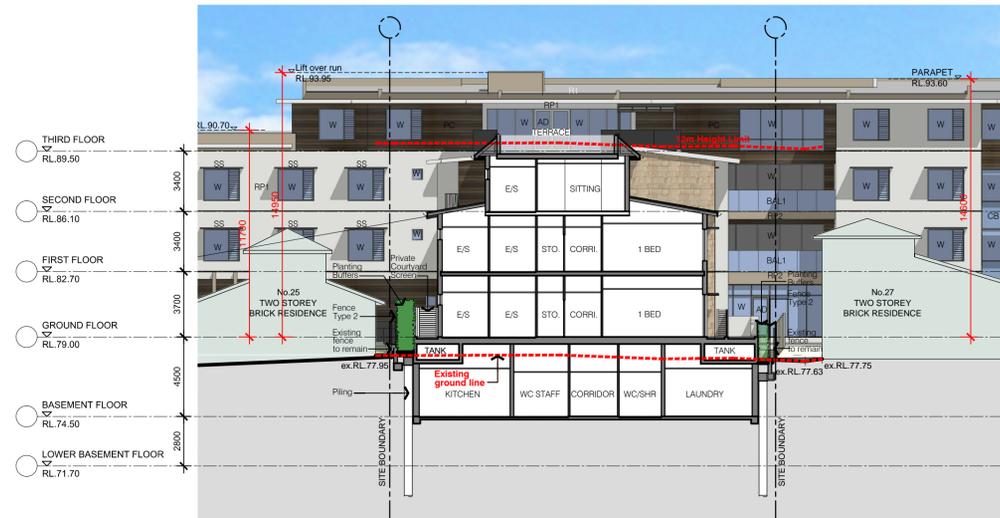
Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
SECTIONS (D, E, & F)



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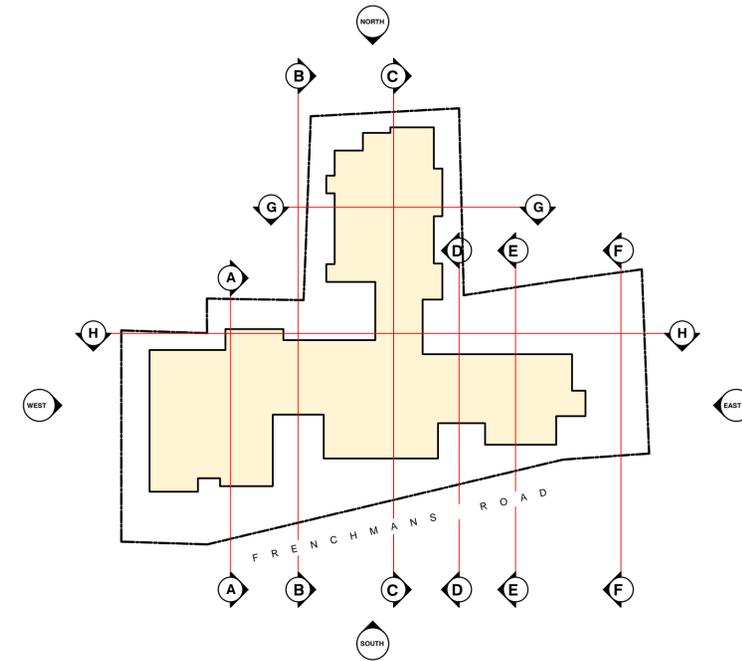
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA11
Amendment	B		



07 Section G
Scale 1:200



08 Section H
Scale 1:200



KEY PLAN

LEGEND

AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
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ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES

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NOTE:
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

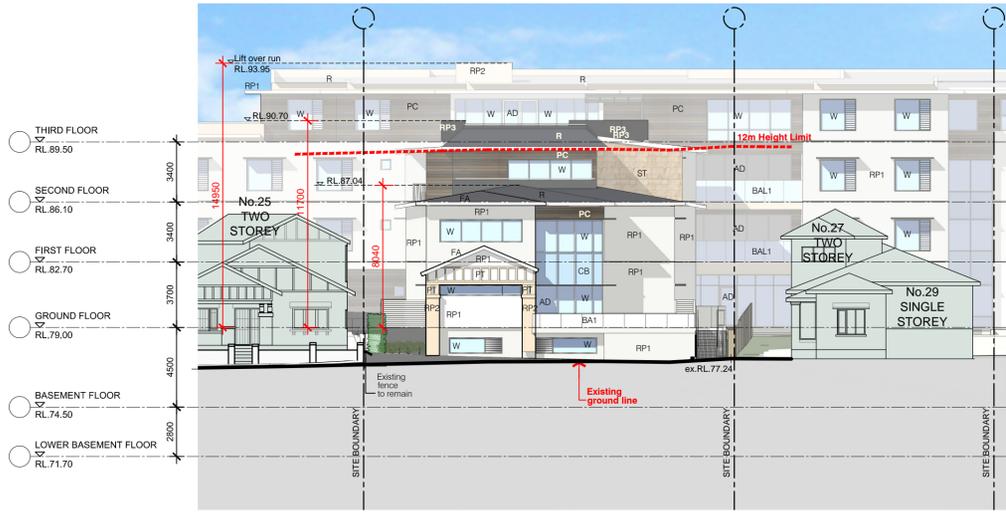
Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
SECTIONS (G & H)



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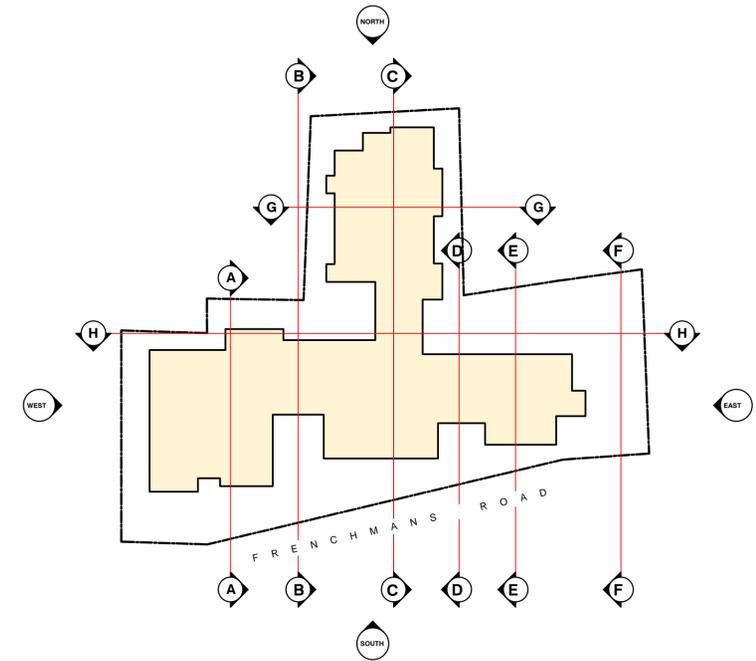
Date	NOV 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA12
Amendment	B		



11 NORTH ELEVATION
Scale 1:200



12 EAST ELEVATION
Scale 1:200

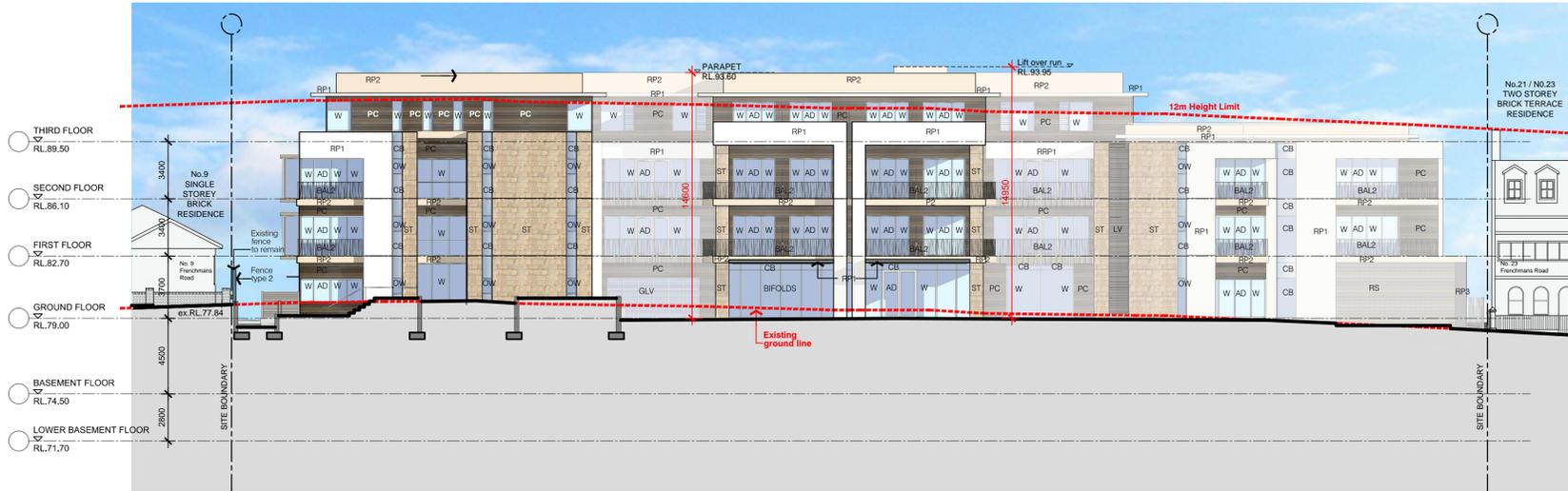


KEY PLAN

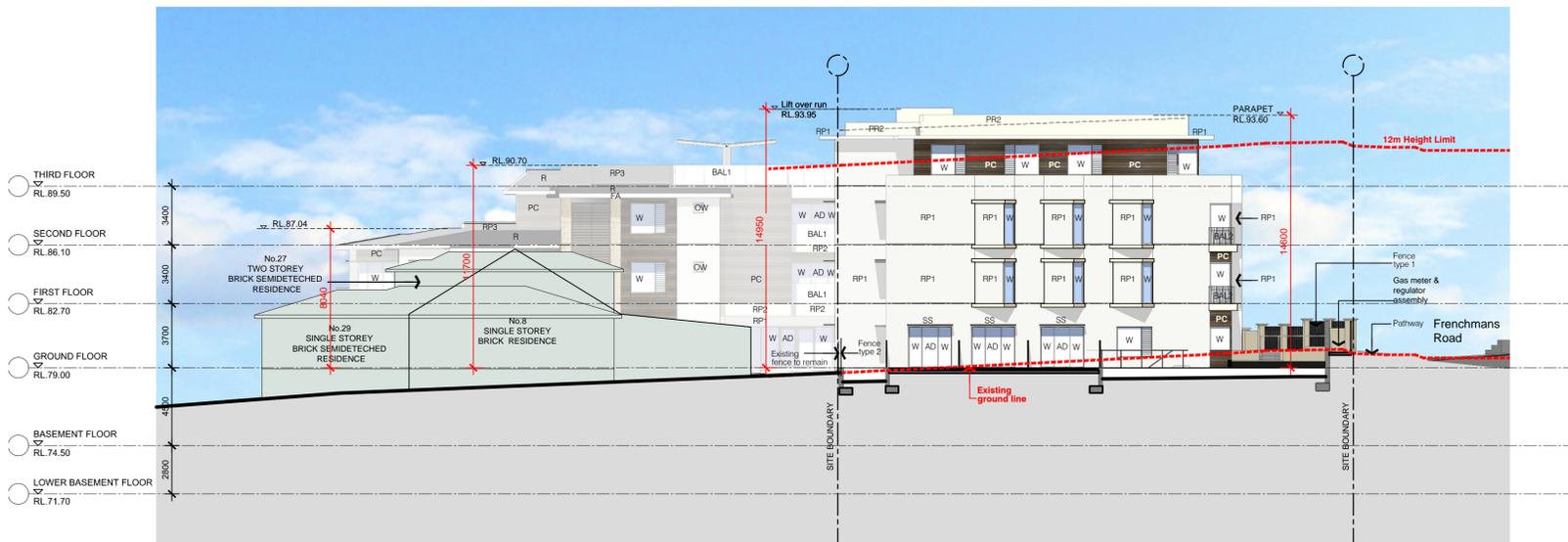
LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
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NOTE:
ALL ENSUITE & SITTING ROOMS WINDOWS TO BE OPENABLE WITH FLYSCREEN



13 SOUTH ELEVATION
Scale 1:200



14 WESTELEVATION
Scale 1:200



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
ELEVATIONS (North, East, South & West)

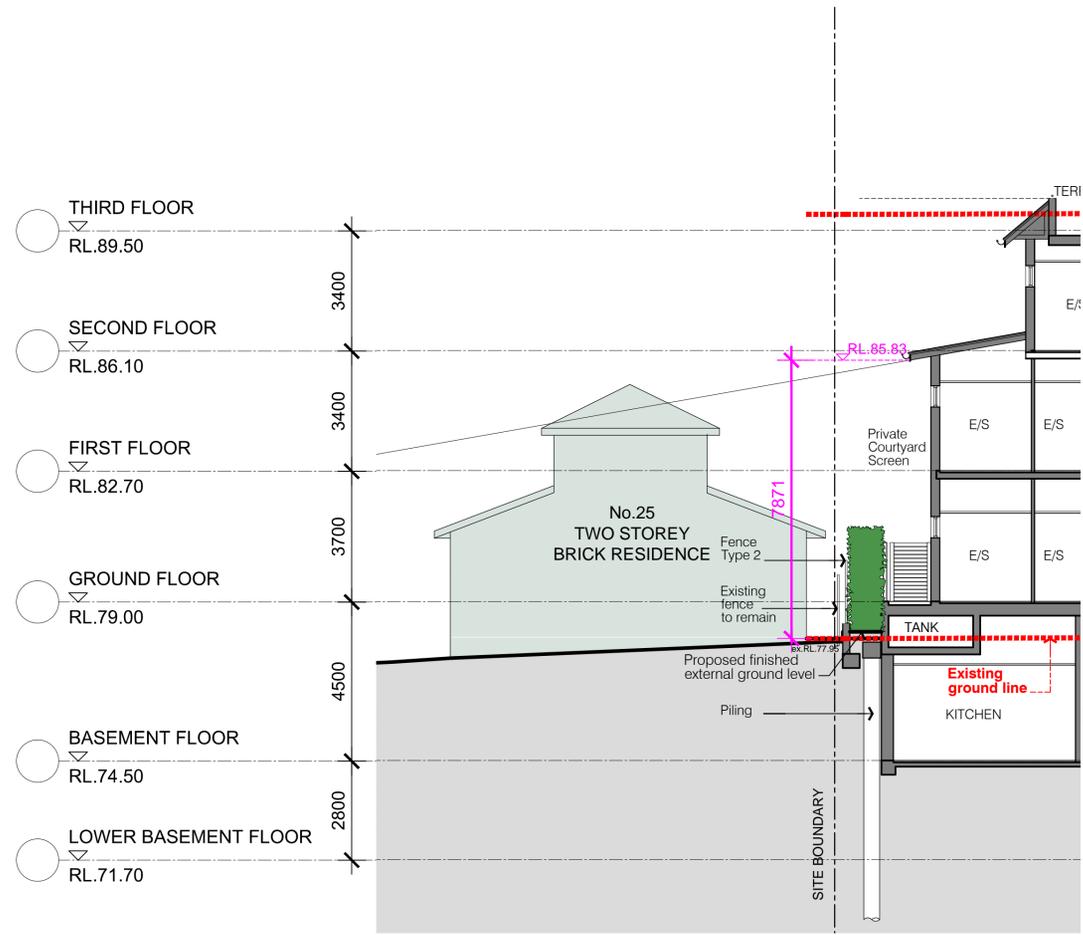
SUMMITCARE
WARMTH WORTH WELLBEING

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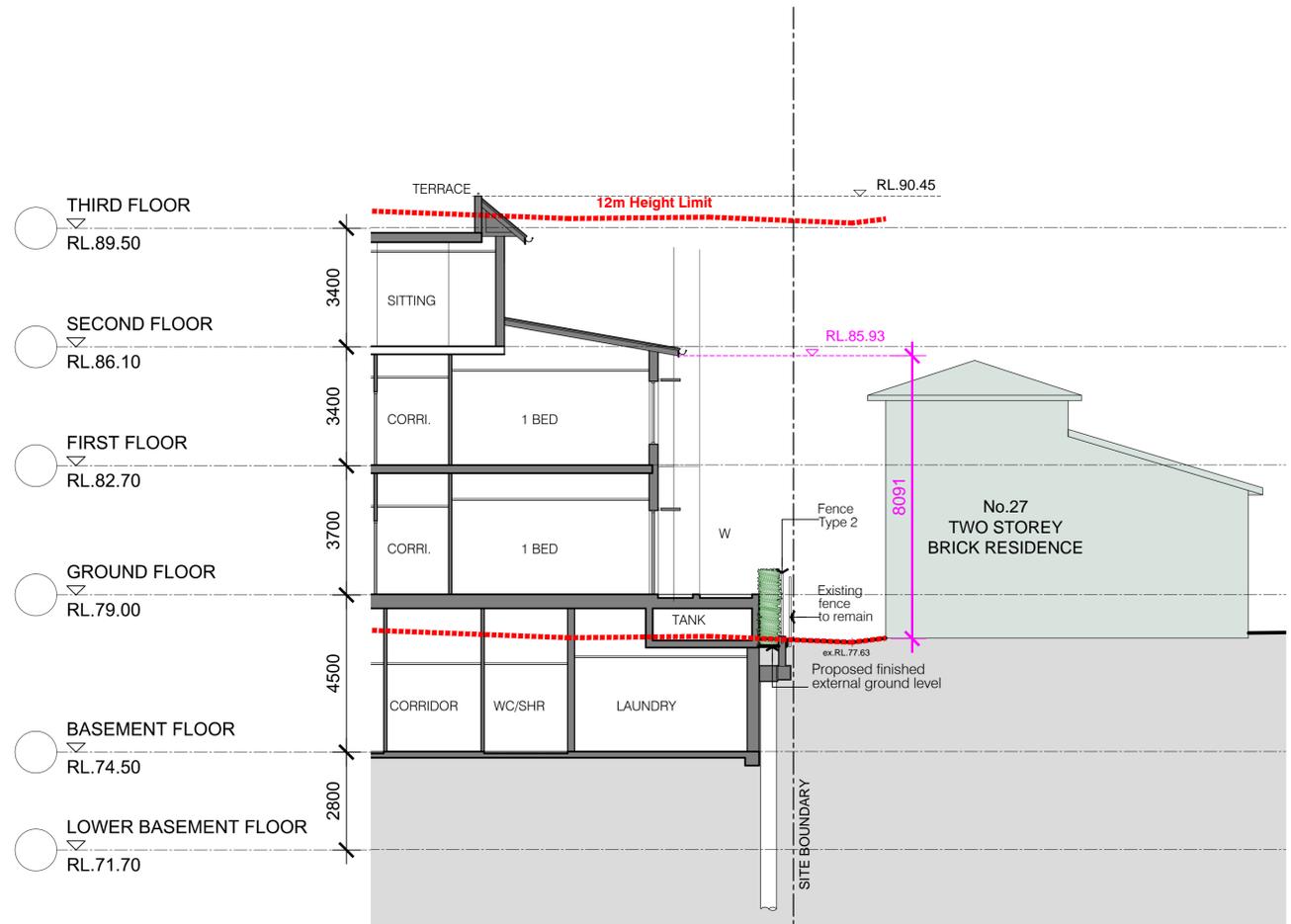
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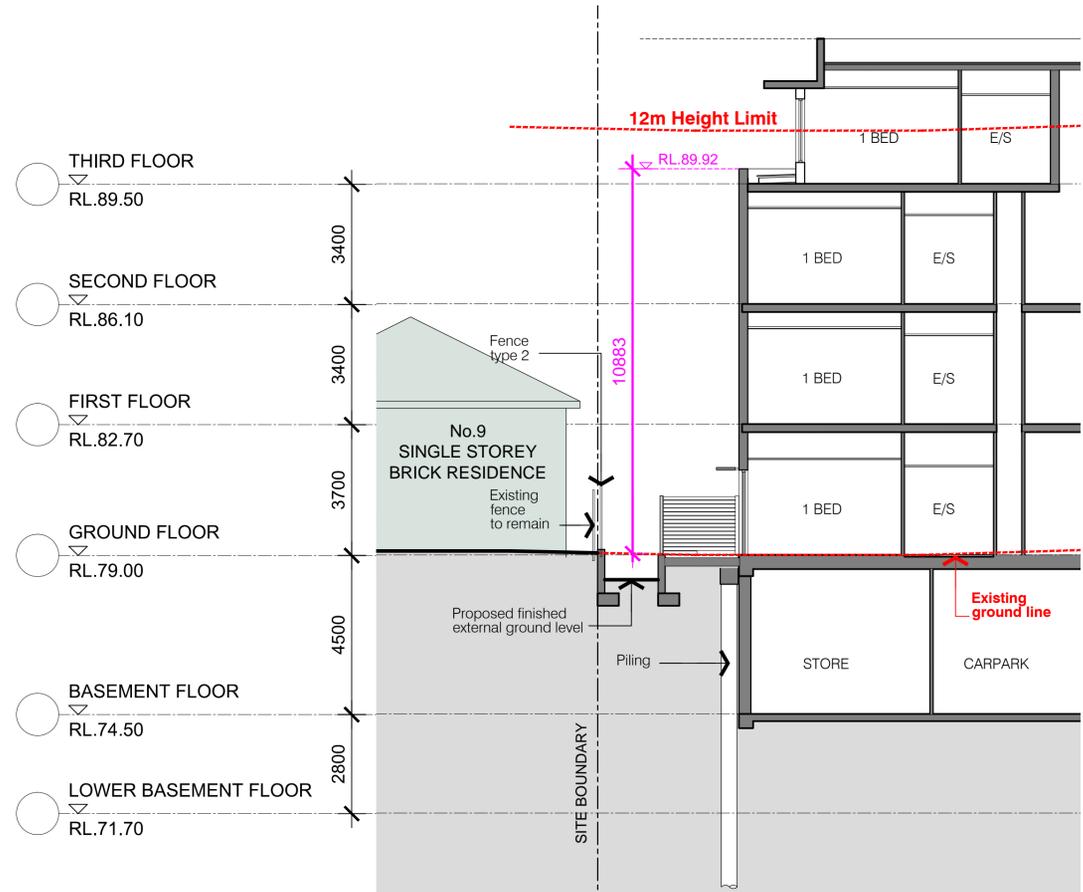
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA13
Amendment	B		



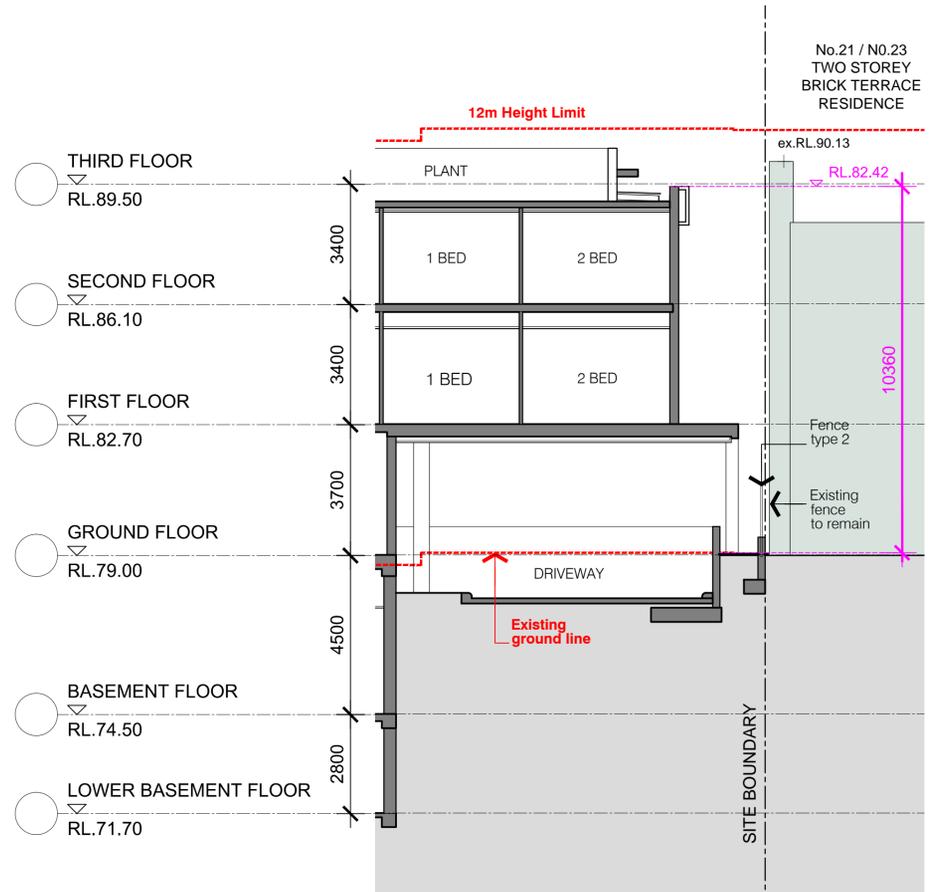
01 Section G
Scale 1:100



02 Section J
Scale 1:100



03 Section K
Scale 1:100

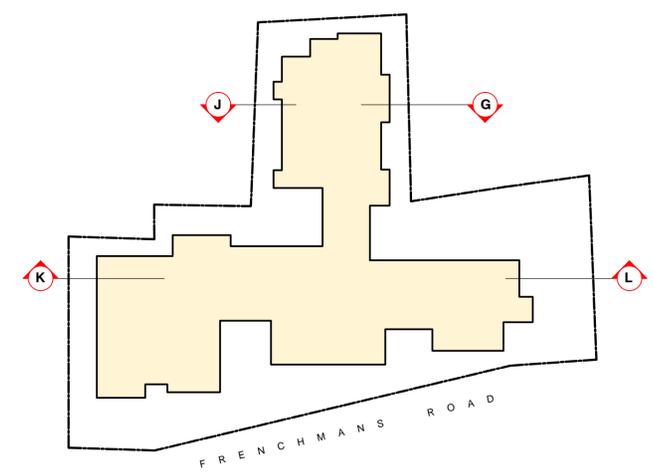


04 Section L
Scale 1:100

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALLUSTRADE - TYPE 1 (GLASS)
BA2	BALLUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
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RS	ROLLER SHUTTER
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SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
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F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

NOTE:
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



KEY PLAN

A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
SECTIONS & BOUNDARY



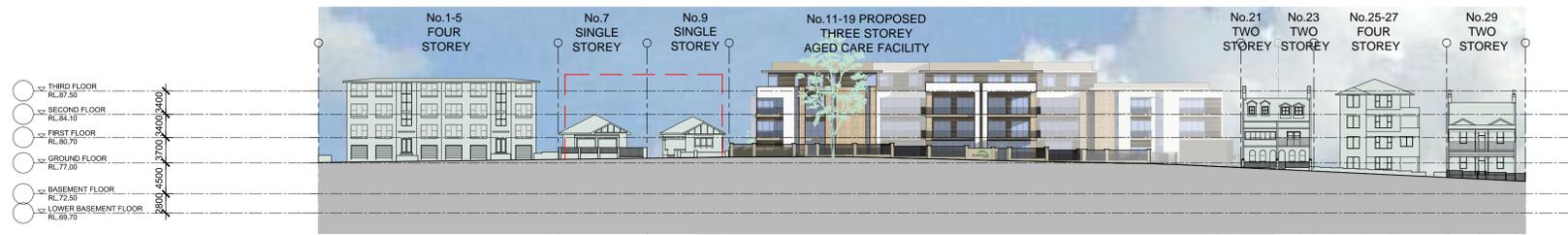
boffa robertson group
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SCALE: 1:100 @ A1
SCALE: 1:200 @ A3

Date	JAN 2019	Job No.	1912/ DA13a
Scale	AS SHOWN		
Drawn	SS		
Amendment	A		



01 SOUTH STREET ELEVATION
Scale 1:500



02 SOUTH STREET ELEVATION - PART 1
Scale 1:200



03 SOUTH STREET ELEVATION - PART 2
Scale 1:200



04 NORTH STREET ELEVATION
Scale 1:200



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
STREET ELEVATIONS PROPOSED

SUMMITCARE
WORTH WORTH WELLBEING

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Date	JAN 2019	Job No. :	Drawing
Scale	AS SHOWN		1912/ DA14
Drawn	AL		
Amendment	B		



01 Frenchmans Road Street Elevation
Proposed



02 Frenchmans Road Street Elevation
Existing



03 Opposite side of Frenchmans Road Street Elevation
Existing

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK
 Drawing
STREET ELEVATION @
FRENCHMANS ROAD-PHOTOMONTAGE

SUMMITCARE
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Date	JULY 2019	Job No.	Drawing
Scale	NTS @ A1	2017 / DA15	
Drawn	VI		
Amendment	B		



01 McLennan Avenue Street Elevation
Proposed



02 McLennan Avenue Street Elevation
Existing



03 View from Chapel Street
Proposed



04 View from Chapel Street
Existing

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
STREET ELEVATION @
MCLENNAN AVENUE -PHOTOMONTAGE

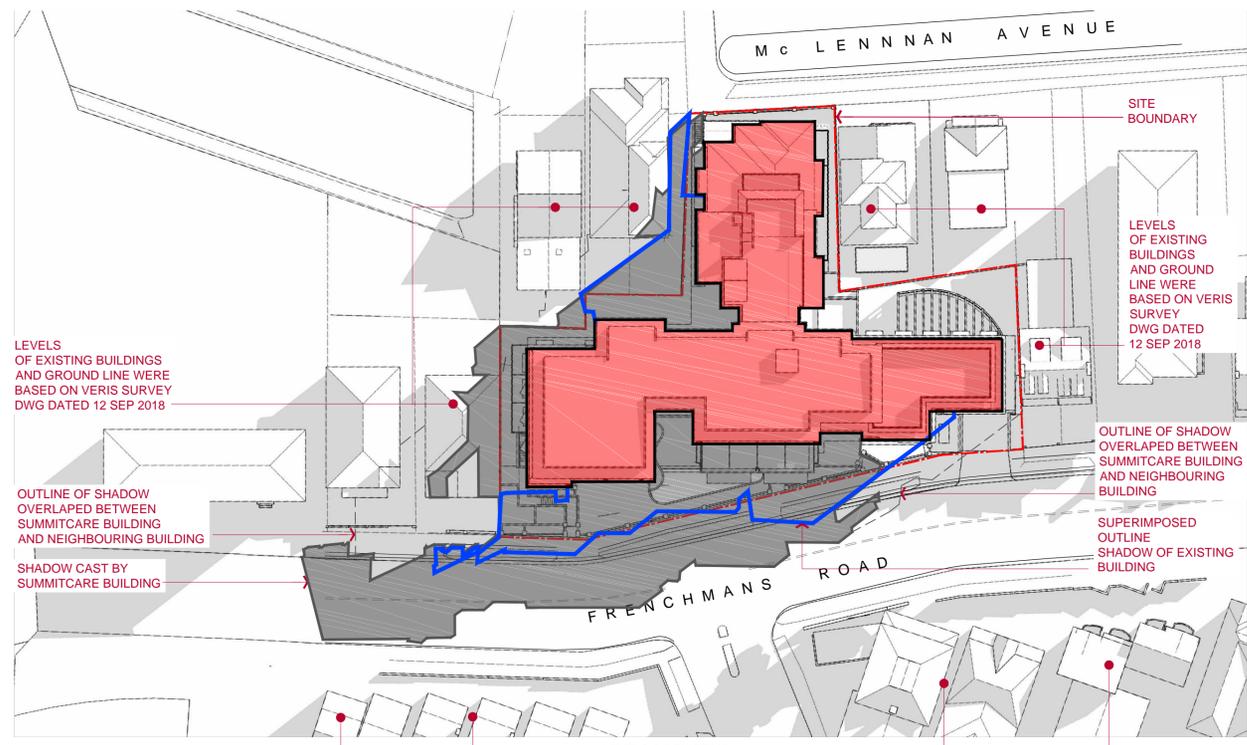
SUMMITCARE

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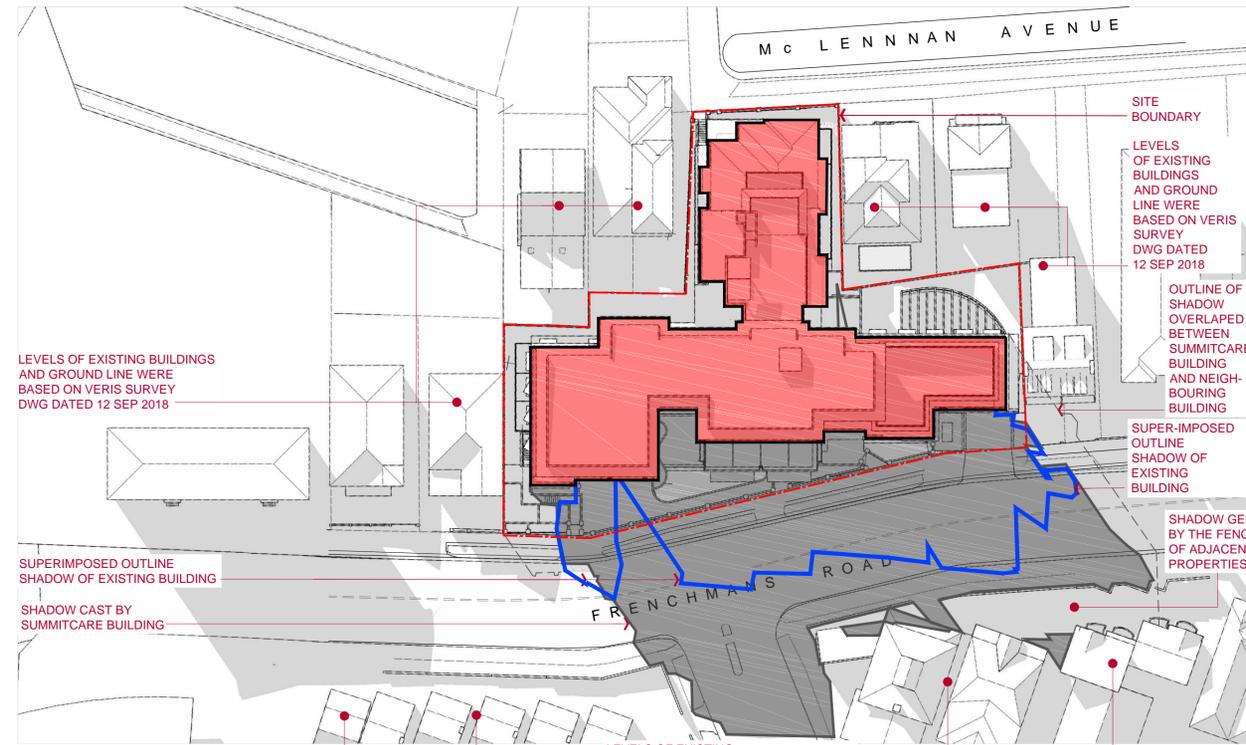
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iqg

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Date	JULY 2019	Job No. :	Drawing
Scale	NTS @ A1		
Drawn	VI		2017 / DA16
Amendment	B		



21 JUNE 9AM
PROPOSED



21 JUNE 3PM
PROPOSED

LEGEND

	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING
	SHADOW CAST BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 9AM
EXISTING



21 JUNE 3PM
EXISTING

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	25.05.2021
No.	Amendment	Date

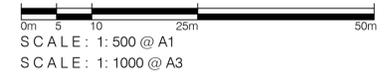
Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
SHADOW DIAGRAMS
Existing & Proposed- 21June 9am & 3pm

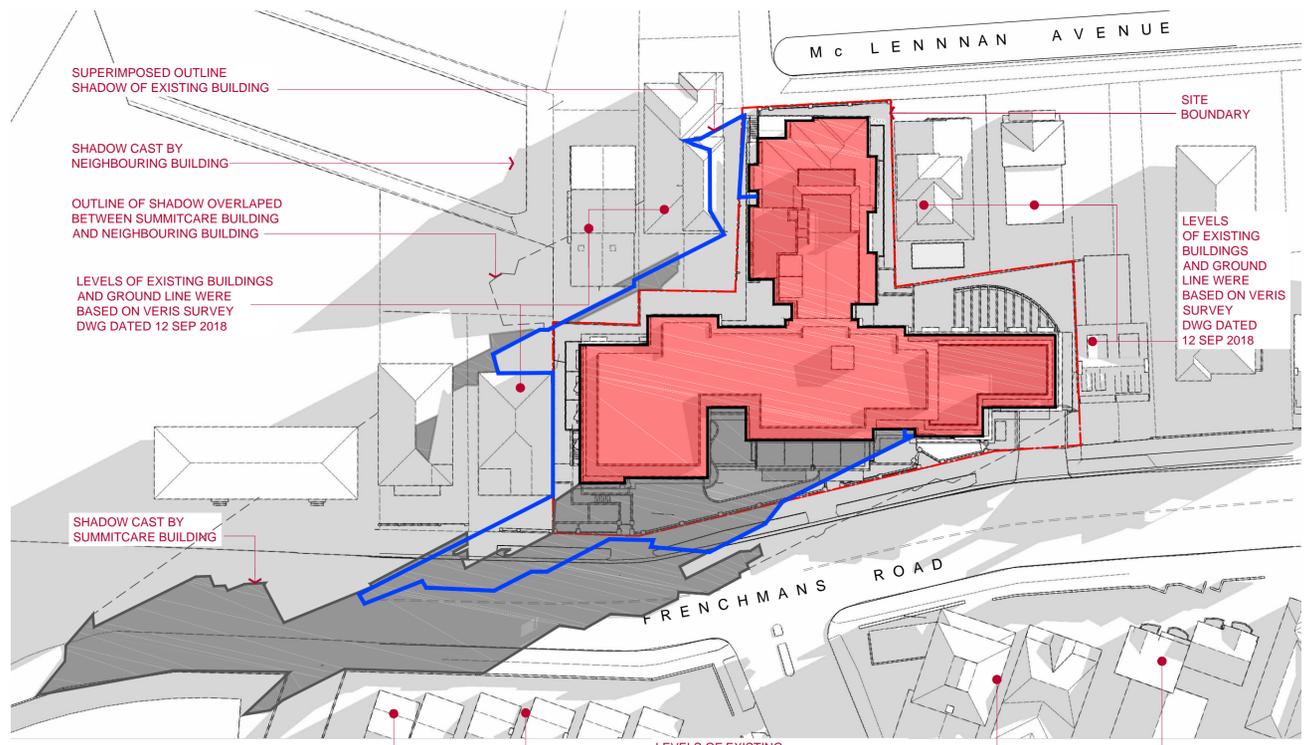
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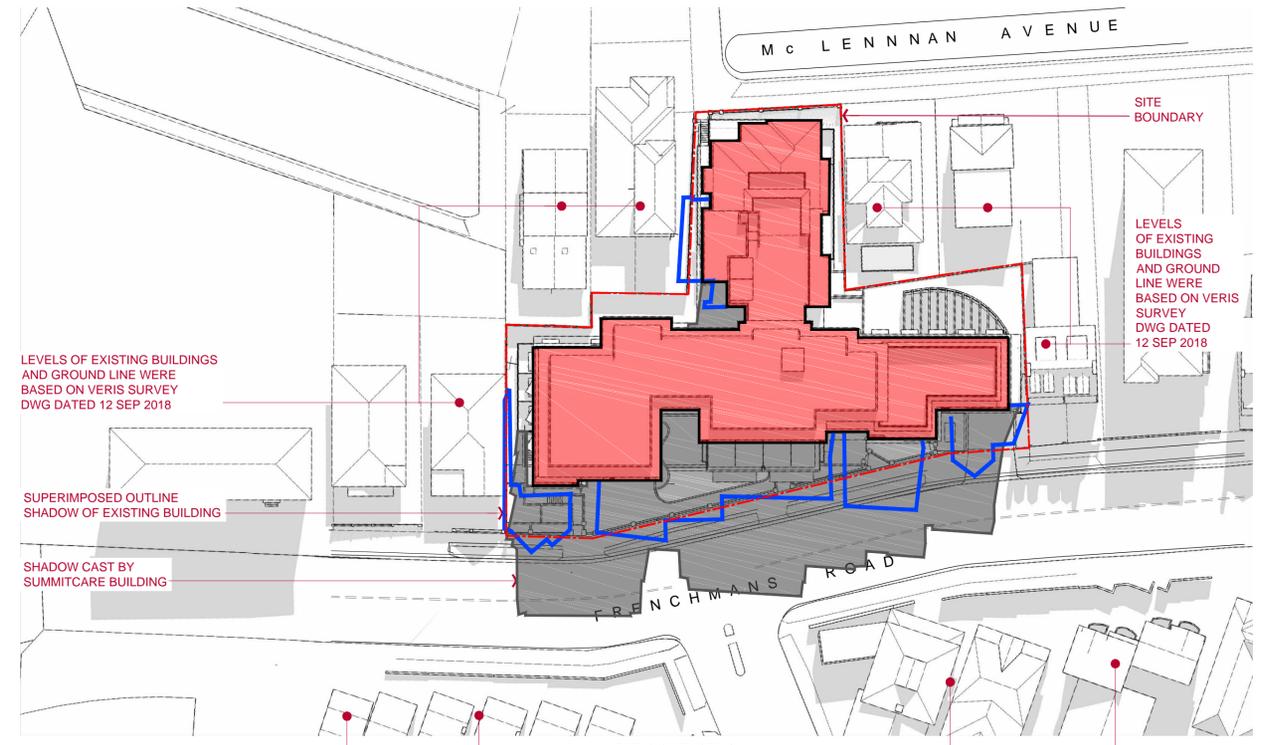


Date	JAN 2019	Job No.	: Drawing
Scale	1:500		
Drawn	VI		1912/ DA17a
Amendment	A		



21 JUNE 8AM
PROPOSED

LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON HIGGINS SURVEYORS DWG DATED 10 MAY 2021 LOWERED BY 2m



21 JUNE 12PM
PROPOSED

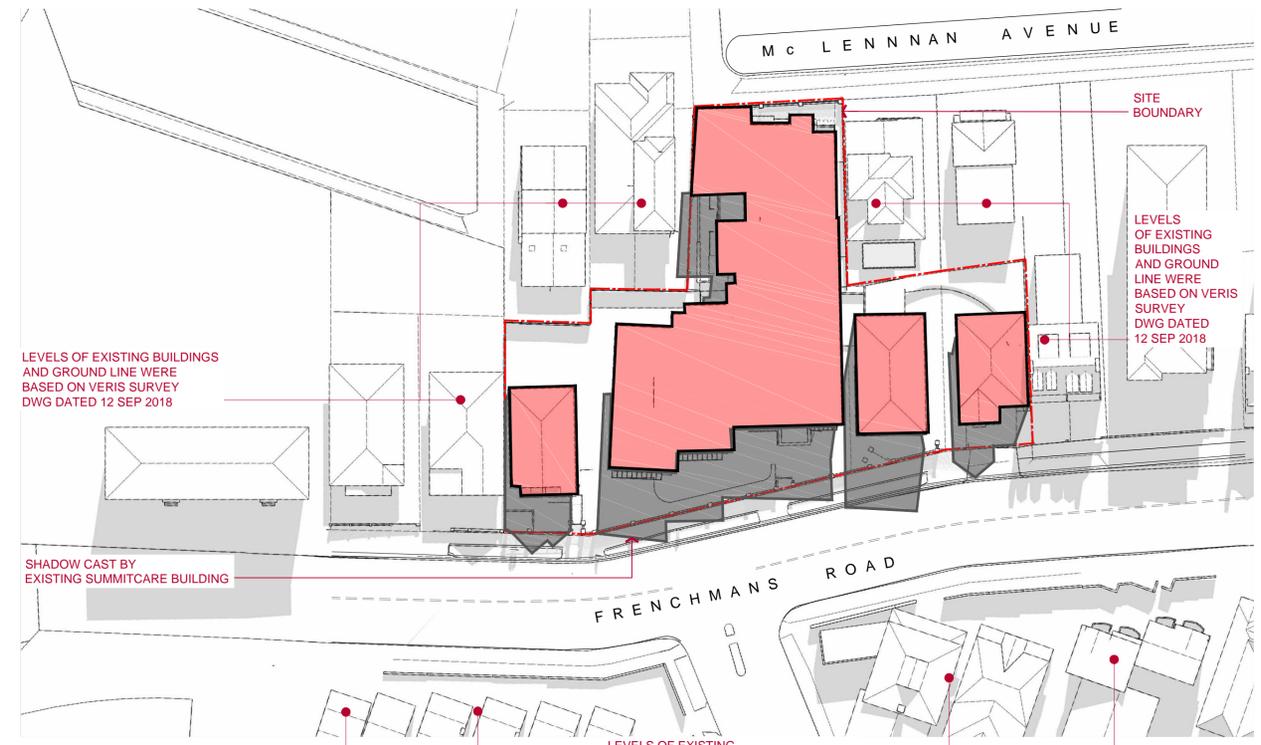
LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON HIGGINS SURVEYORS DWG DATED 10 MAY 2021 LOWERED BY 2m

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING
	SHADOW CAST BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 8AM
EXISTING

LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON HIGGINS SURVEYORS DWG DATED 10 MAY 2021 LOWERED BY 2m



21 JUNE 12PM
EXISTING

LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON HIGGINS SURVEYORS DWG DATED 10 MAY 2021 LOWERED BY 2m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	25.05.2021
No.	Amendment	Date

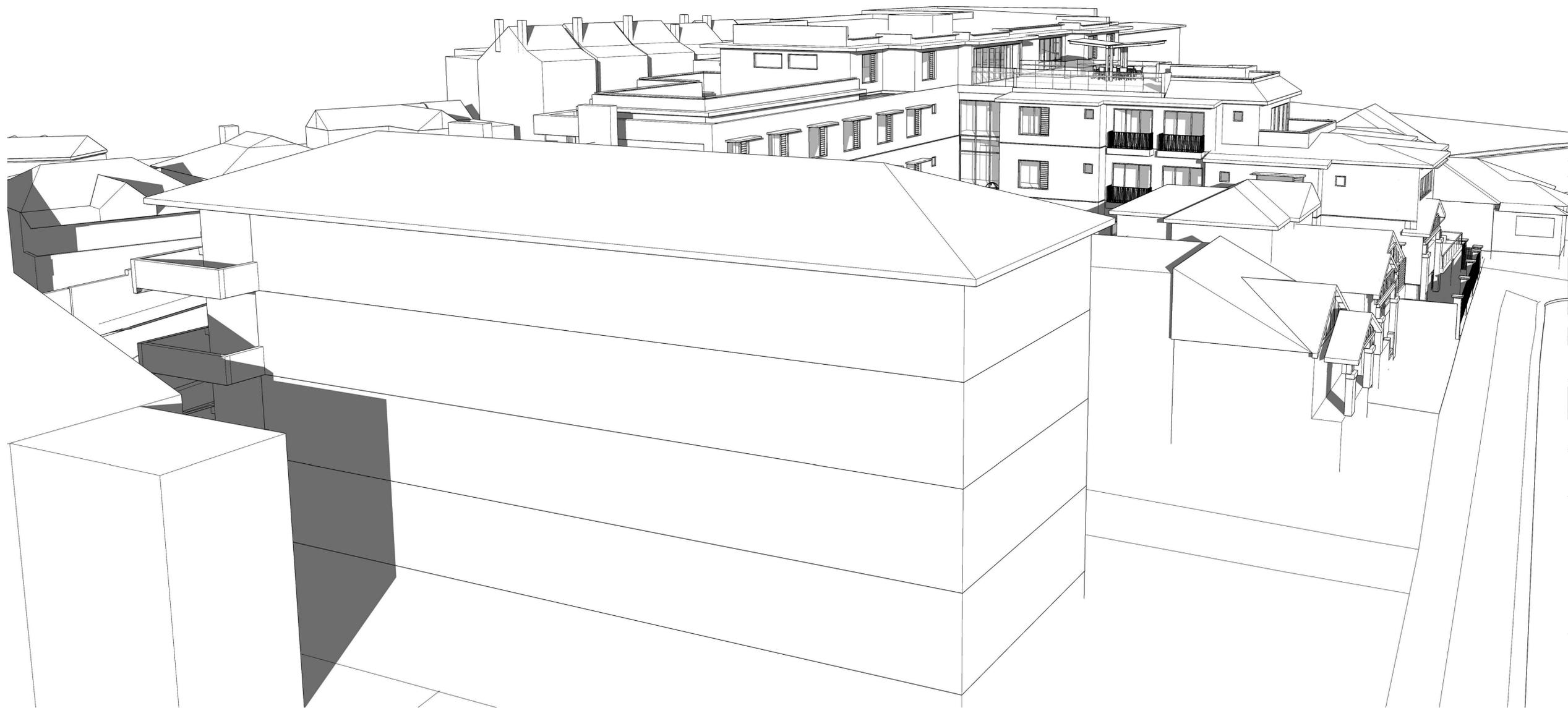
Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
SHADOW DIAGRAMS
Existing & Proposed- 21June 8am & 12pm



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0m 5 10 25m 50m
SCALE: 1: 500 @ A1
SCALE: 1: 1000 @ A3

Date	JAN 2019	Job No.	: Drawing
Scale	1: 500		
Drawn	VI		1912/ DA17
Amendment	B		



21 JUNE 8AM
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
DIRECT SUN ANALYSIS
DIAGRAM 21 June 8am



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Date	JUN 2021	Job No.	: Drawing
Scale	NTS		
Drawn	VI		1912 / DA18a
Amendment	A		



21 JUNE 9AM
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date

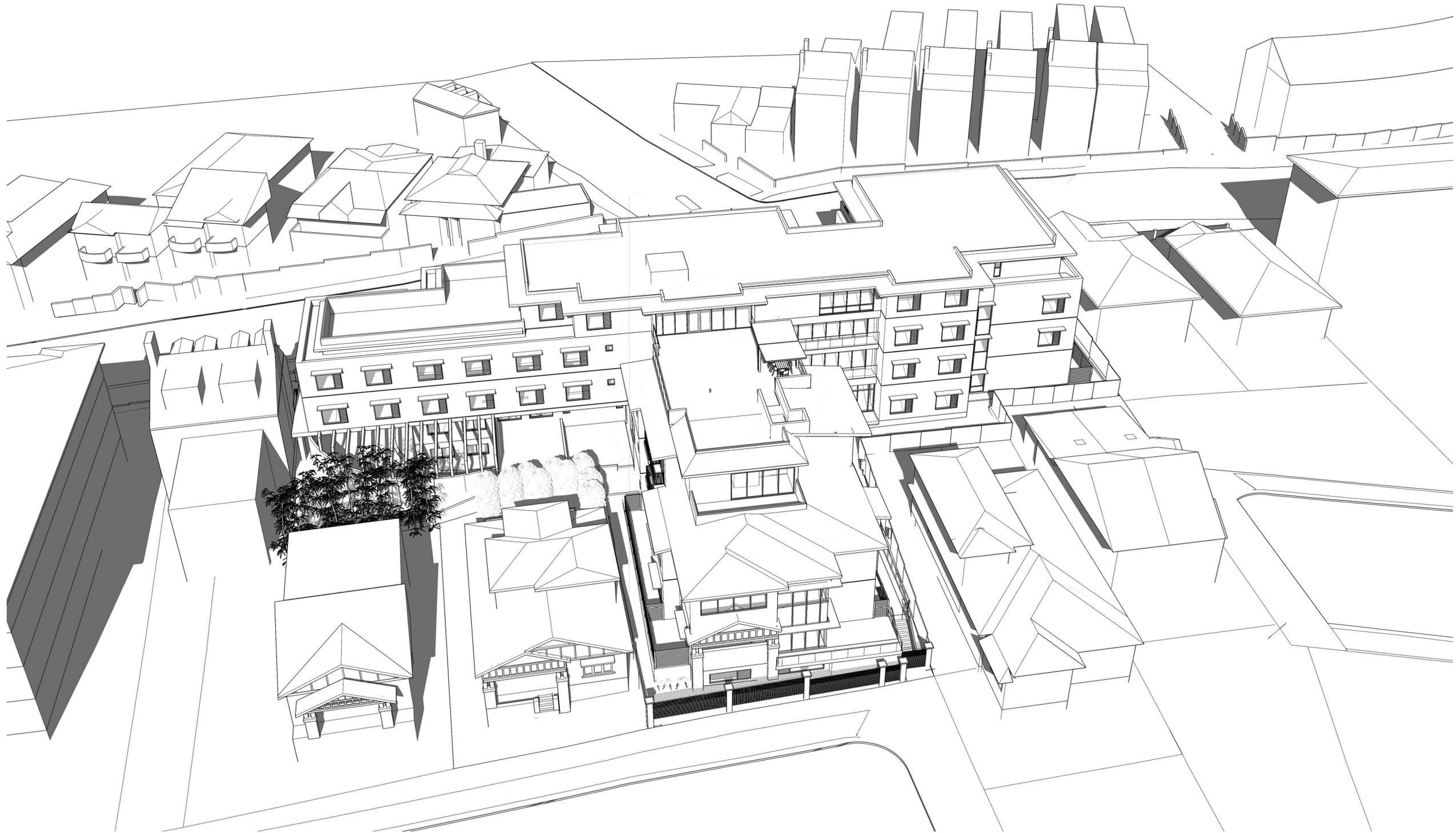
Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK
Drawing
DIRECT SUN ANALYSIS
DIAGRAM 21 June 9am



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Date	JUN 2021	Job No. :	Drawing
Scale	NTS		
Drawn	VI		1912 / DA18b
Amendment	A		



21 JUNE 12PM
PROPOSED

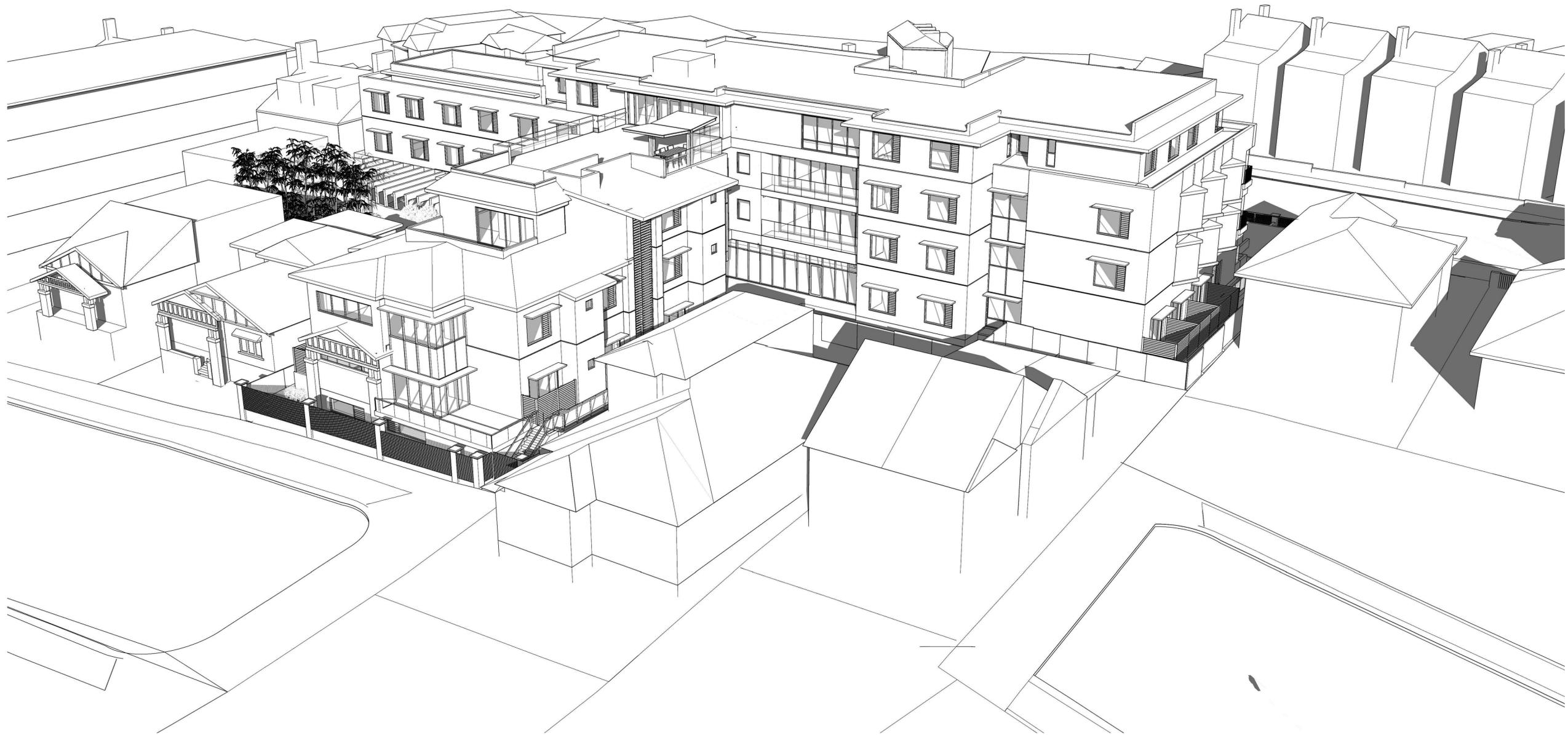
A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK
 Drawing
 DIRECT SUN ANALYSIS
 DIAGRAM 21 June 12pm

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	Date	JUN 2021	Job No. :	Drawing
	Scale	NTS		
	Drawn	VI		1912/ DA18c
	Amendment	A		



21 JUNE 3PM
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date

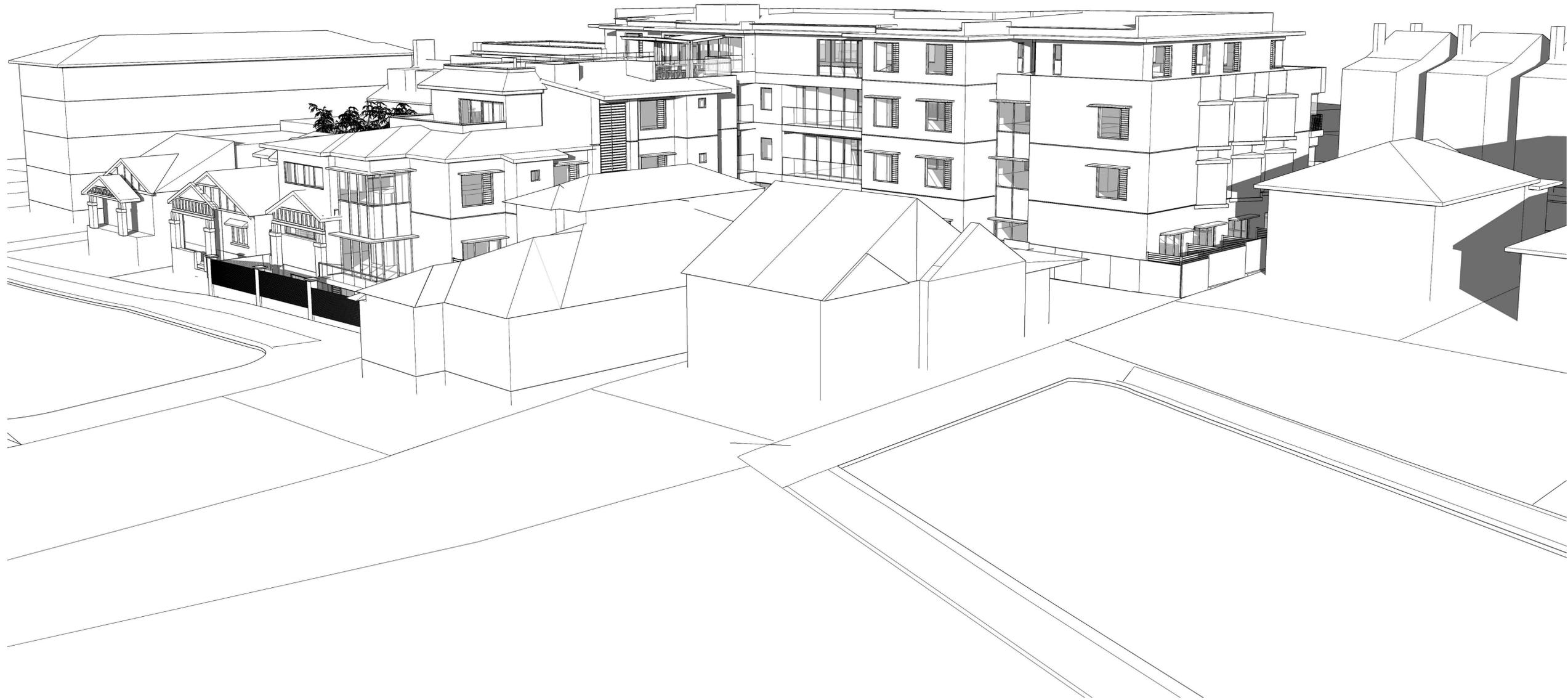
Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK
 Drawing
DIRECT SUN ANALYSIS
 DIAGRAM 21 June 3pm



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Date	JUN 2021	Job No.	Drawing
Scale	NTS		
Drawn	VI		1912 / DA18d
Amendment	A		



21 JUNE 4PM
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK
 Drawing
 DIRECT SUN ANALYSIS
 DIAGRAM 21 June 4pm


SUMMITCARE

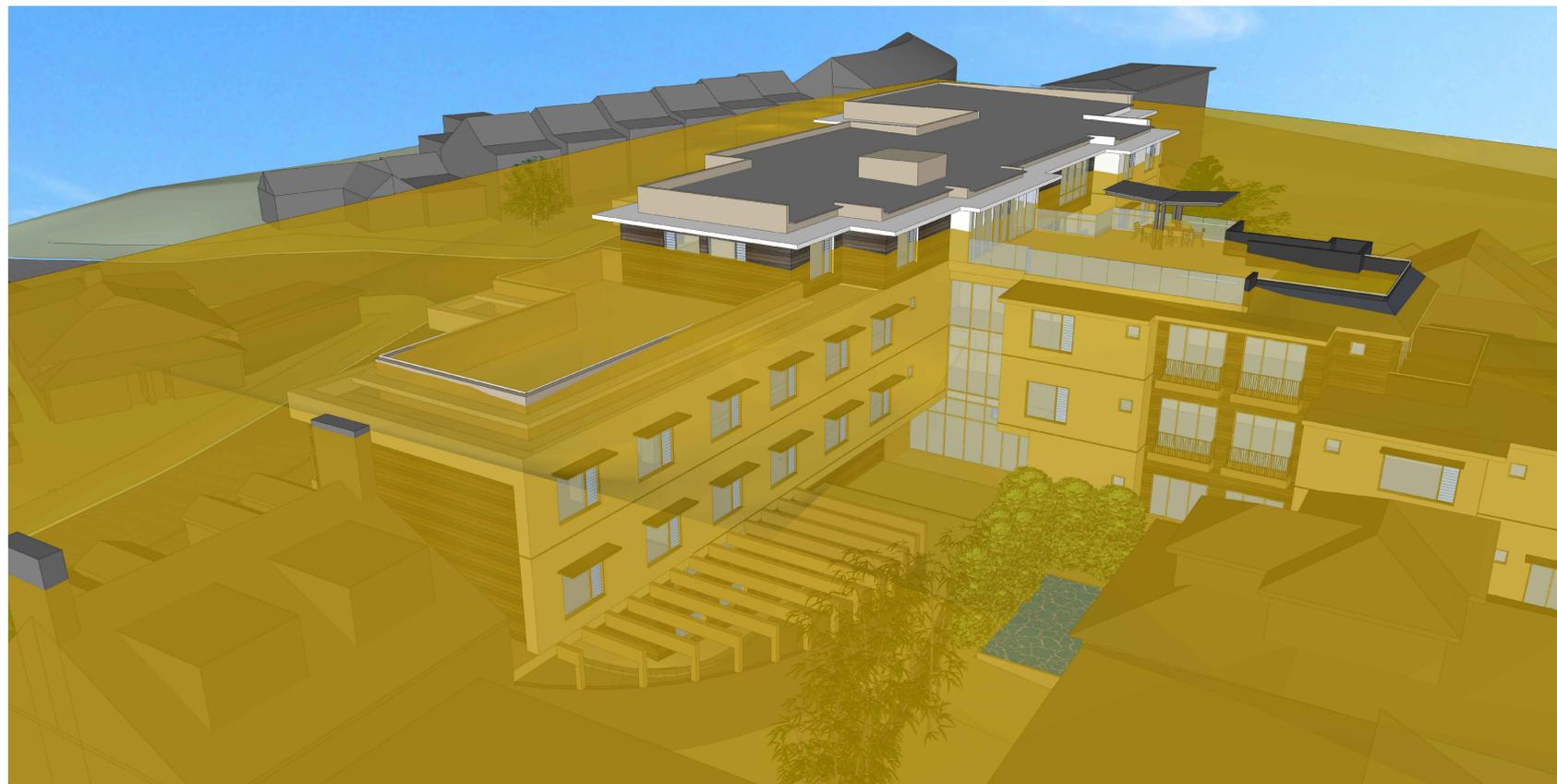
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 Fax: (02) 9406 7009
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	Date	JUN 2021	Job No. :	Drawing
	Scale	NTS		
	Drawn	VI		1912 / DA18e
	Amendment	A		



WEST - 3D IMAGE



EAST - 3D IMAGE

The above graphics are showing the 3D model of the proposed development with the 12m height control represented by a yellow coloured plane. These images demonstrate the extent of built form that penetrates the height control

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
 3D IMAGE Showing
 built form penetrating 12m height

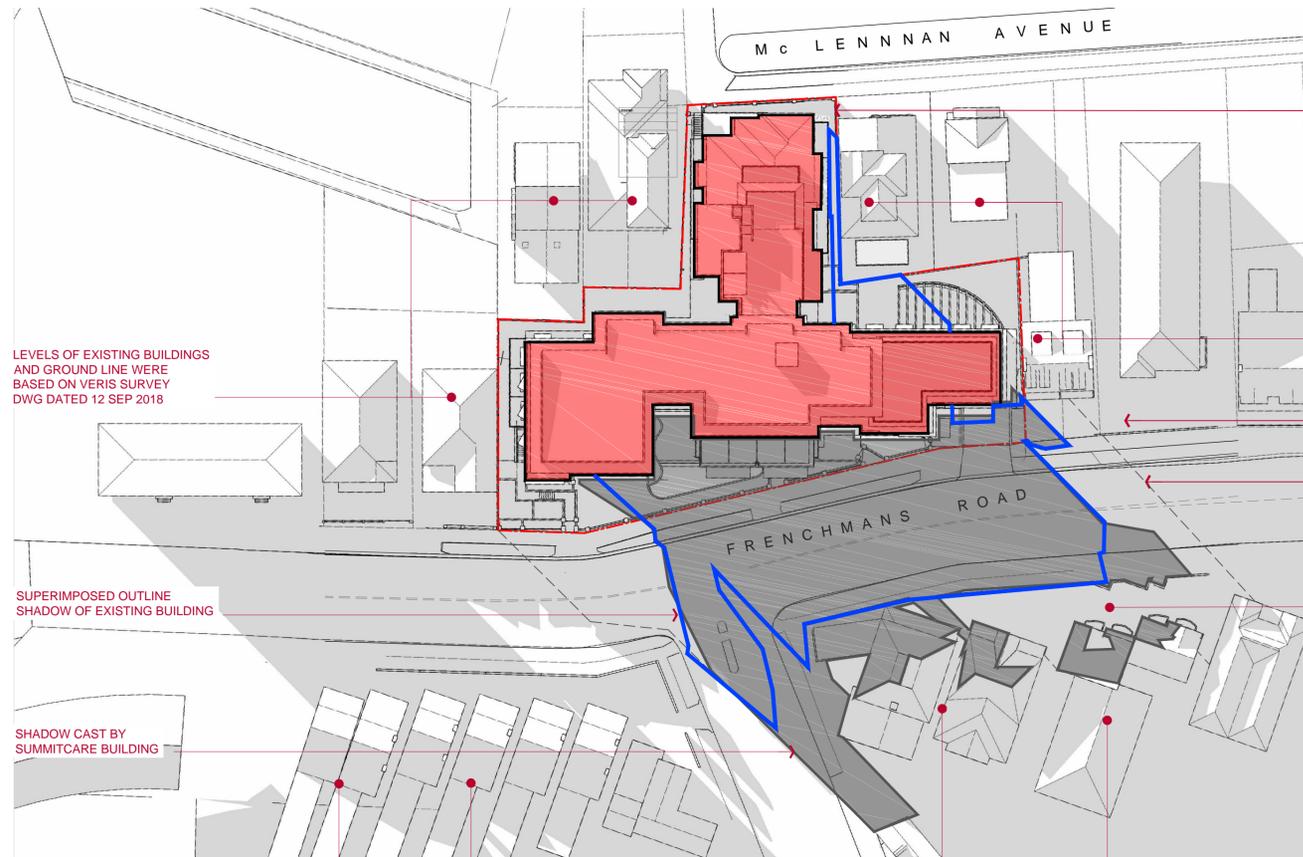
SUMMITCARE

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Date	JAN 2019	Job No.	: Drawing
Scale	1:500		
Drawn	SS	1912/	DA18f
Amendment	B		



21 JUNE 4PM
PROPOSED

SITE BOUNDARY

LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON VERIS SURVEY DWG DATED 12 SEP 2018

SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING

OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING

SHADOW GENERATED BY THE FENCE OF ADJACENT PROPERTIES

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING
	SHADOW CAST BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 4PM
EXISTING

SITE BOUNDARY

LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON VERIS SURVEY DWG DATED 12 SEP 2018

OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING

SHADOW GENERATED BY THE FENCE OF ADJACENT PROPERTIES

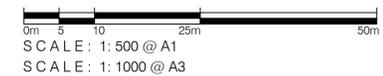
B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	25.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
SHADOW DIAGRAMS
Existing & Proposed- 21June 4pm

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Date	JAN 2019	Job No.	: Drawing
Scale	1:500		
Drawn	VI		1912/ DA18
Amendment	B		

LEGEND

 Rooms with SOLAR ACCESS between 9am to 3pm



0m SCALE: NTS 0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
SOLAR ACCESS DIAGRAM - GROUND FLOOR



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Date	AUG 2020	Job No. :	Drawing
Scale	NTS		
Drawn	AL		1912/ DA19
Amendment	B		

LEGEND

 Rooms with SOLAR ACCESS between 9am to 3pm



0m SCALE: NTS 0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
SOLAR ACCESS DIAGRAM - FIRST FLOOR

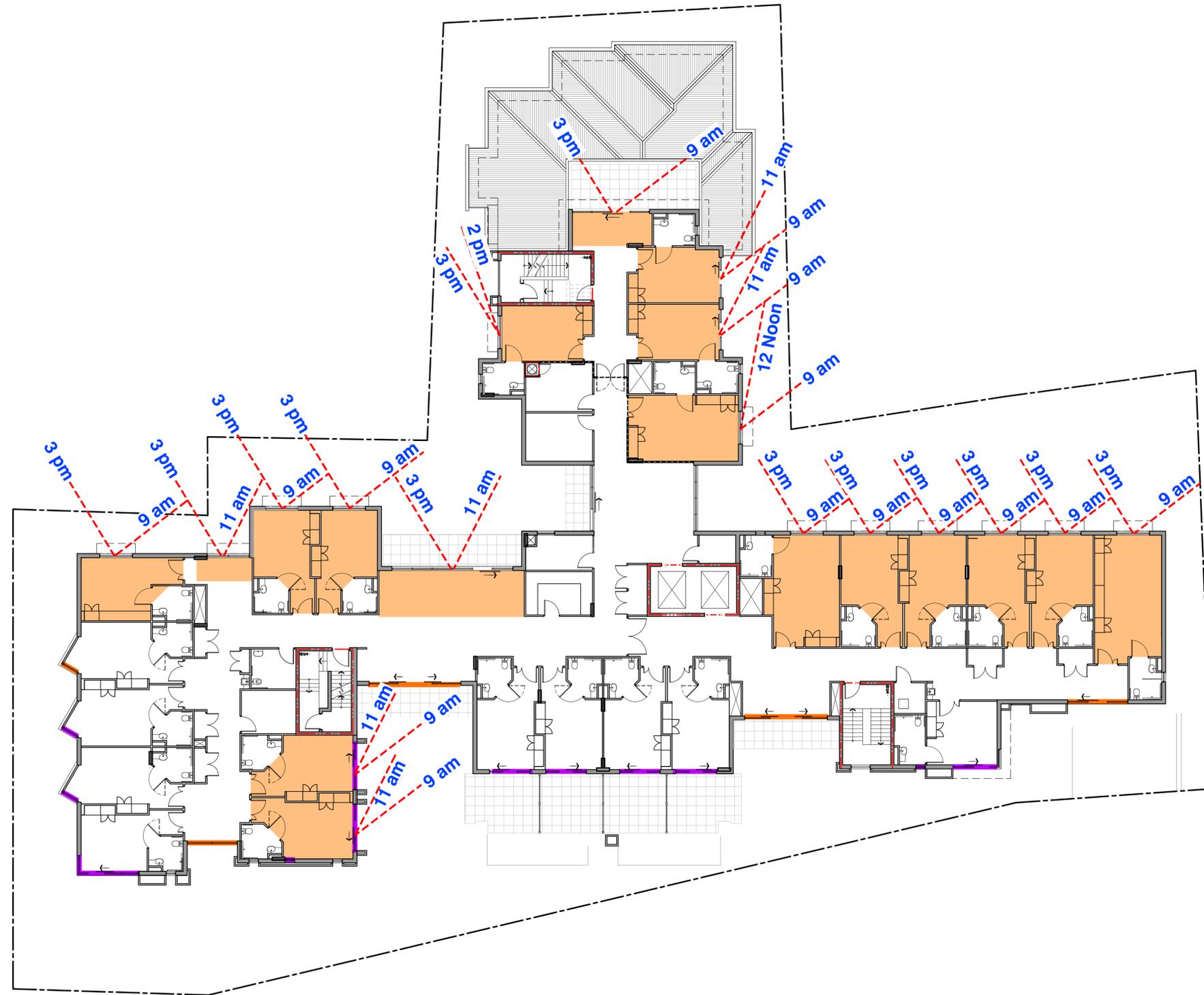


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Date	AUG 2020	Job No. : Drawing
Scale	NTS	
Drawn	AL	1912/ DA19a
Amendment	B	

LEGEND

 Rooms with SOLAR ACCESS between 9am to 3pm



0m SCALE: NTS 0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing
SOLAR ACCESS DIAGRAM - SECOND FLOOR



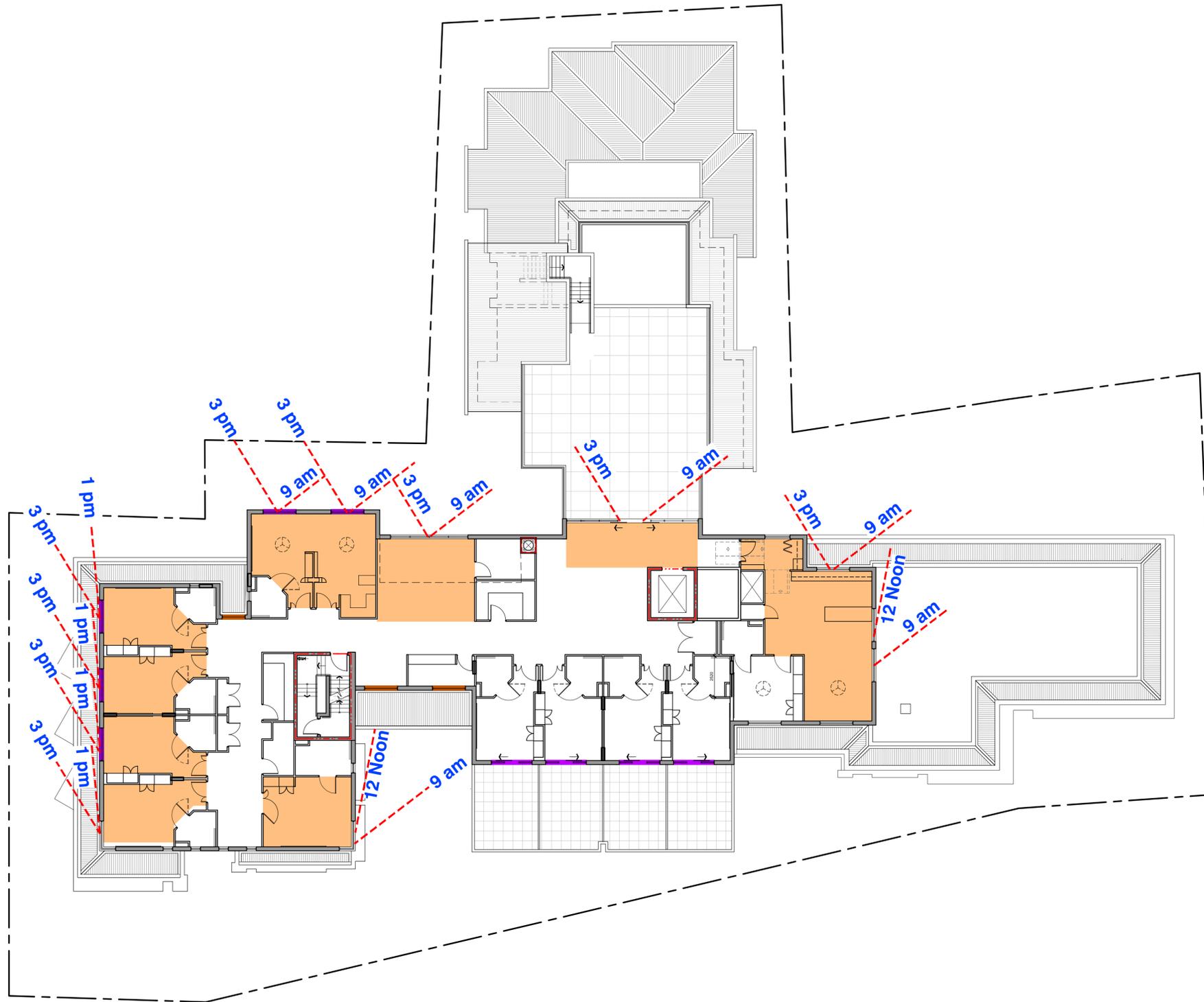
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rqg Chateau NSW 2007
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 Fax: (02) 9406 7099
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Date	AUG 2020	Job No. :	Drawing
Scale	NTS		
Drawn	AL		1912/ DA19b
Amendment	B		

LEGEND

 Rooms with SOLAR ACCESS between 9am to 3pm



0m
SCALE: NTS
0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
FRENCHMANS LODGE
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Drawing
SOLAR ACCESS DIAGRAM -
THIRD FLOOR



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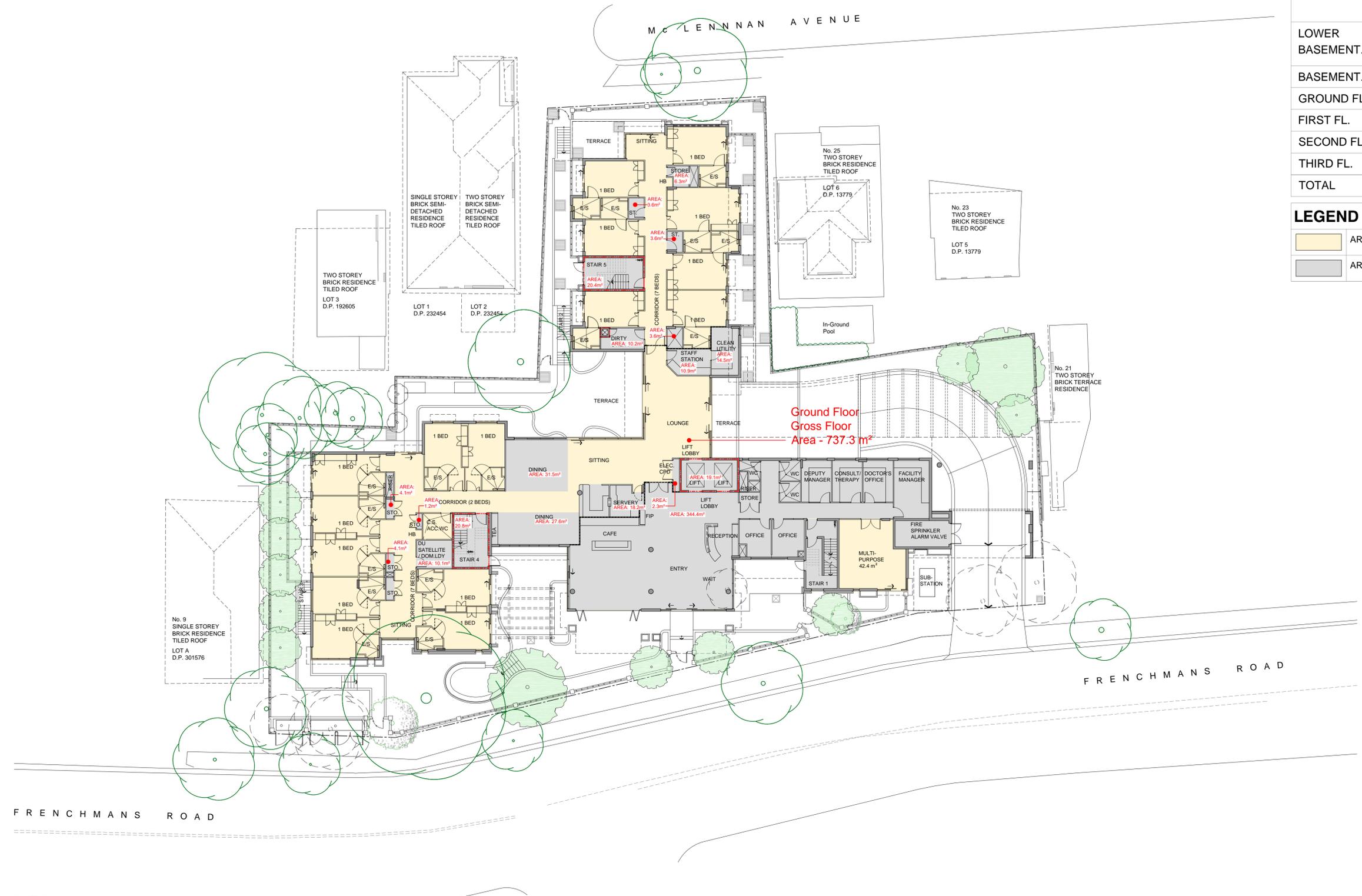
	Date	AUG 2020	Job No.	: Drawing
	Scale	NTS		
	Drawn	AL		1912/ DA19c
	Amendment	B		

GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m ²
GROUND FL.	737.3 m ²
FIRST FL.	1,151.1 m ²
SECOND FL.	1,012.0 m ²
THIRD FL.	558.0 m ²
TOTAL	3,458.4 m ²

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick

Drawing
GROSS FLOOR AREA DIAGRAM - GROUND FLOOR PLAN



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0m 2 5 10 15m
 SCALE: 1:200 @ A1
 SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017/ DA20
Amendment	B		

FRENCHMANS ROAD

FRENCHMANS ROAD

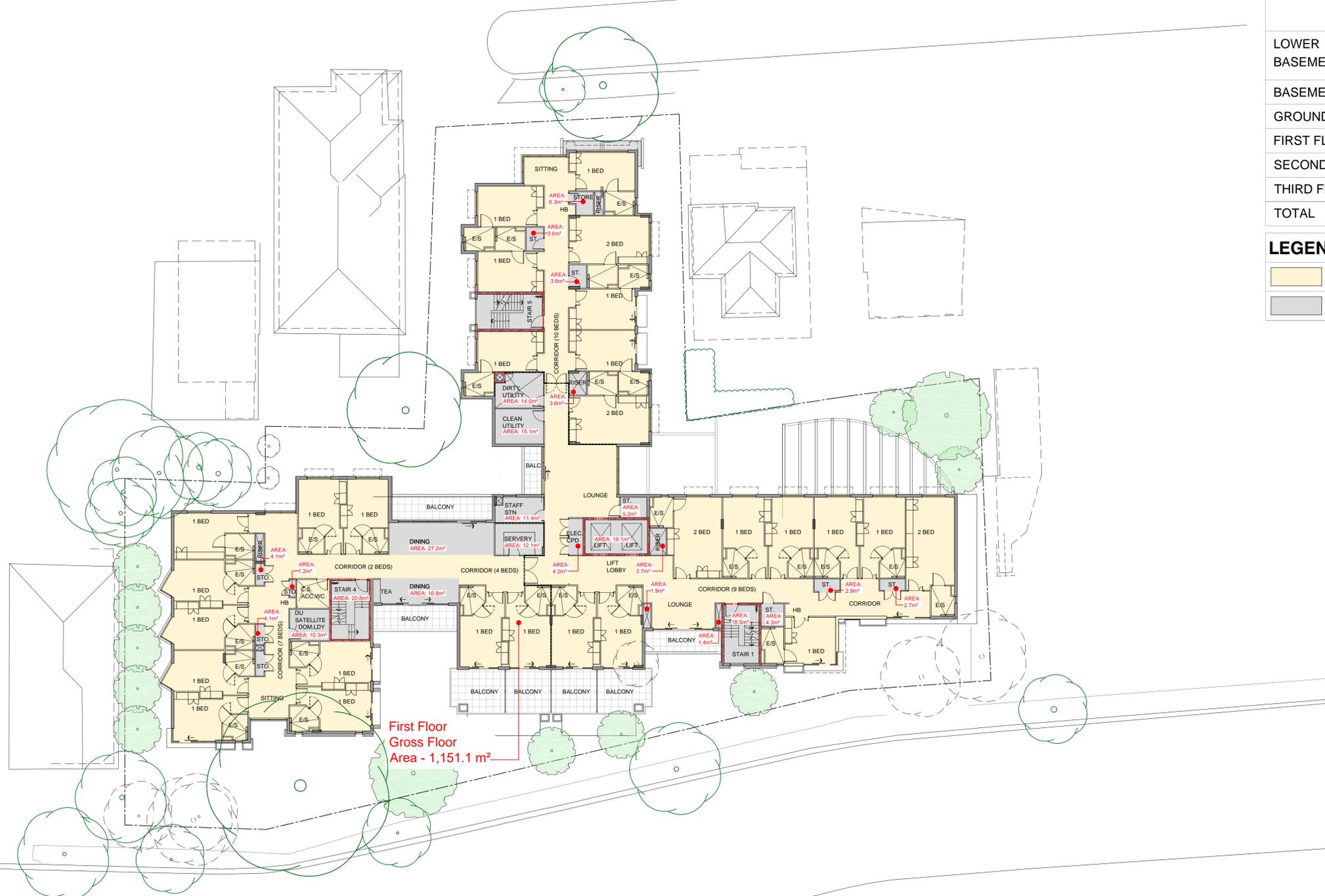
MCLENNAN AVENUE

GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m ²
GROUND FL.	737.3 m ²
FIRST FL.	1,151.1 m ²
SECOND FL.	1,012.0 m ²
THIRD FL.	558.0 m ²
TOTAL	3,458.4 m ²

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



First Floor
Gross Floor
Area - 1,151.1 m²

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
11-19 Frenchmans Road, Randwick

Drawing
GROSS FLOOR AREA DIAGRAM -
FIRST FLOOR PLAN



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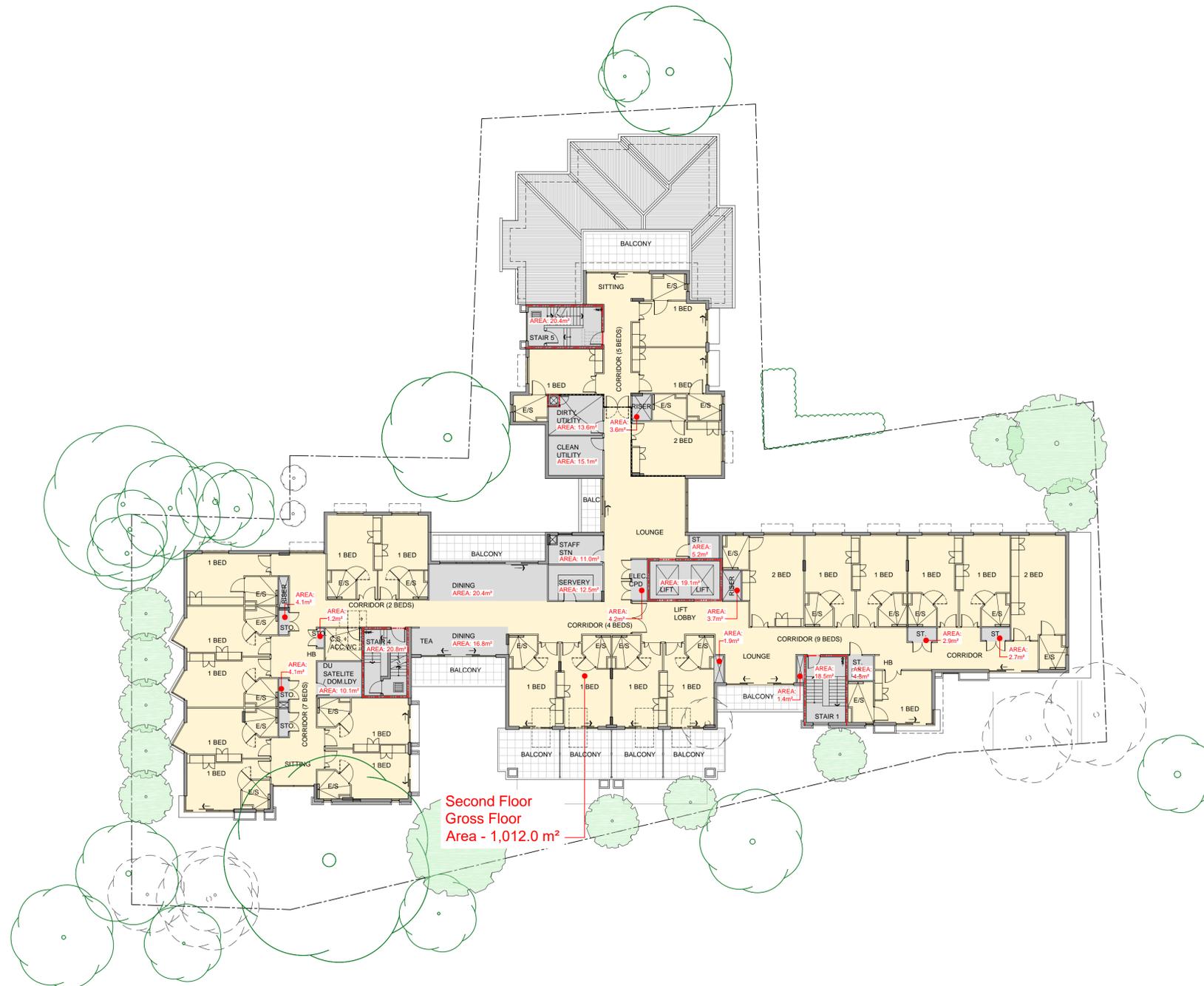
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017/ DA21
Amendment	B		

GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m ²
GROUND FL.	737.3 m ²
FIRST FL.	1,151.1 m ²
SECOND FL.	1,012.0 m ²
THIRD FL.	558.0 m ²
TOTAL	3,458.4 m ²

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
11-19 Frenchmans Road, Randwick

Drawing
GROSS FLOOR AREA DIAGRAM -
SECOND FLOOR PLAN



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SCALE: 1:400 @ A3

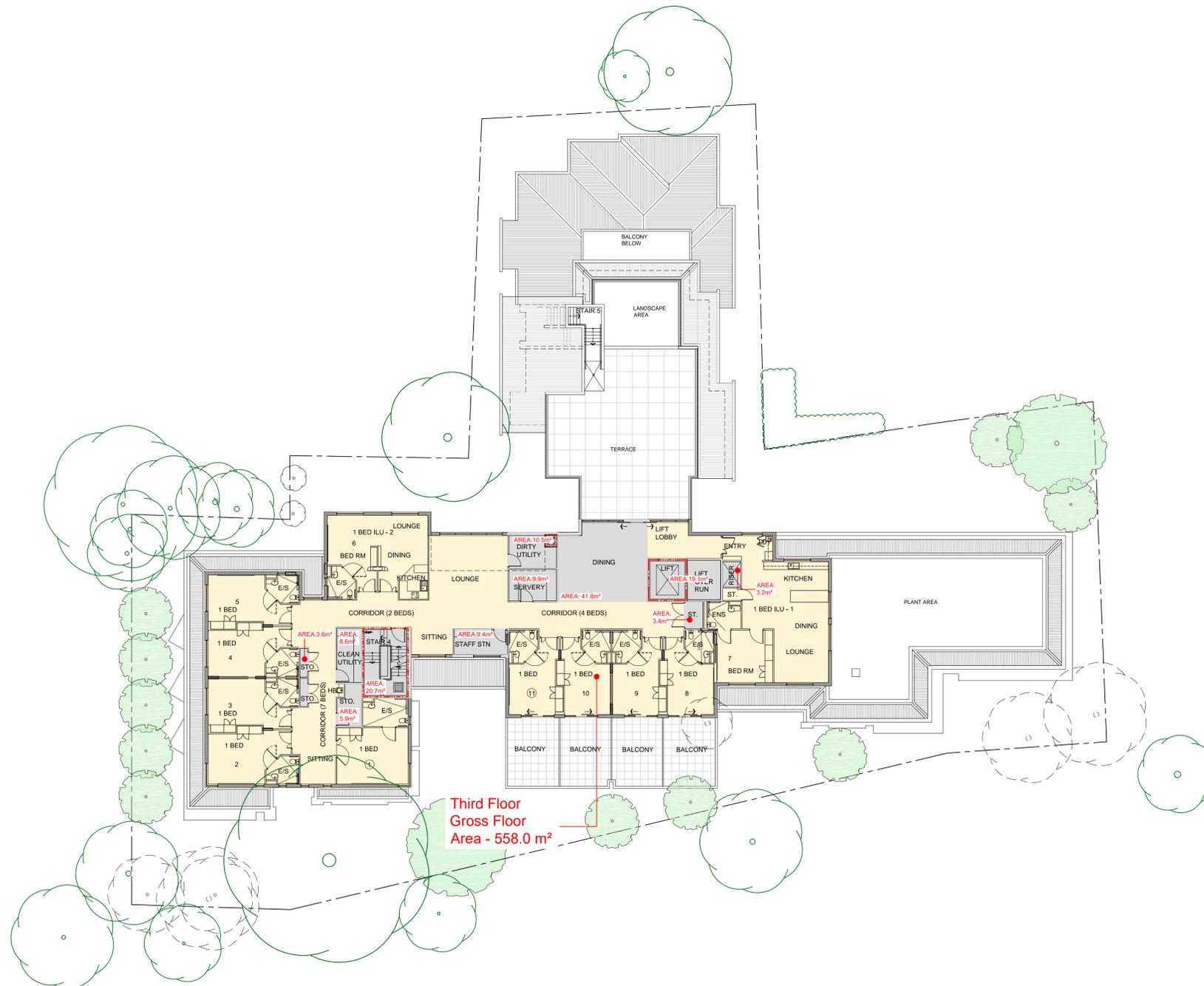
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA22
Amendment	B		

GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m ²
GROUND FL.	737.3 m ²
FIRST FL.	1,151.1 m ²
SECOND FL.	1,012.0 m ²
THIRD FL.	558.0 m ²
TOTAL	3,458.4 m ²

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick

Drawing
GROSS FLOOR AREA DIAGRAM - THIRD FLOOR PLAN



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 SCALE: 1:200 @ A1
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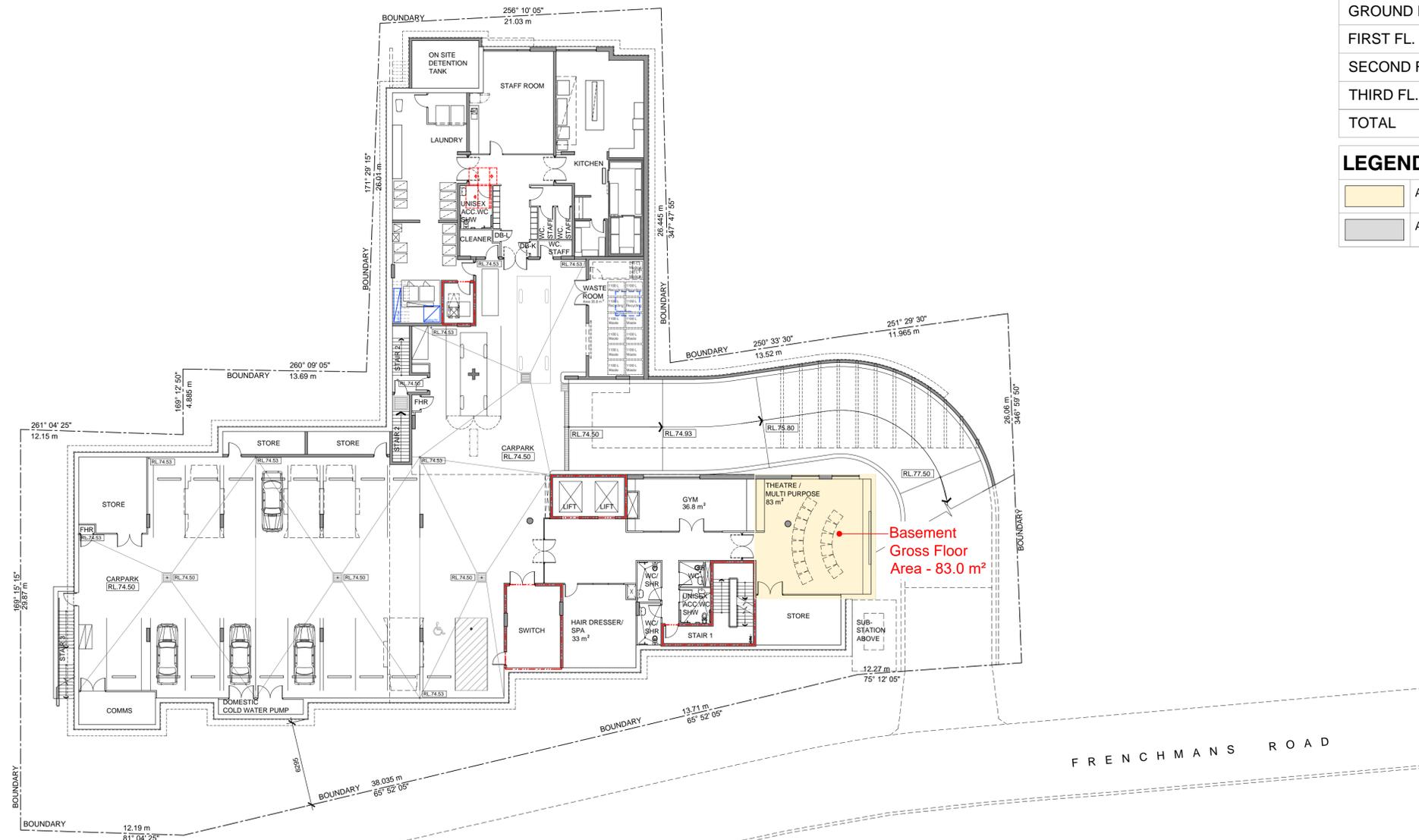
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS	2017 /	DA23
Amendment	B		

GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m ²
GROUND FL.	737.3 m ²
FIRST FL.	1,151.1 m ²
SECOND FL.	1,012.0 m ²
THIRD FL.	558.0 m ²
TOTAL	3,458.4 m ²

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



FRENCHMANS ROAD

FRENCHMANS ROAD

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project
SUMMIT CARE
11-19 Frenchmans Road, Randwick

Drawing
GROSS FLOOR DIAGRAM -
BASEMENT FLOOR PLAN

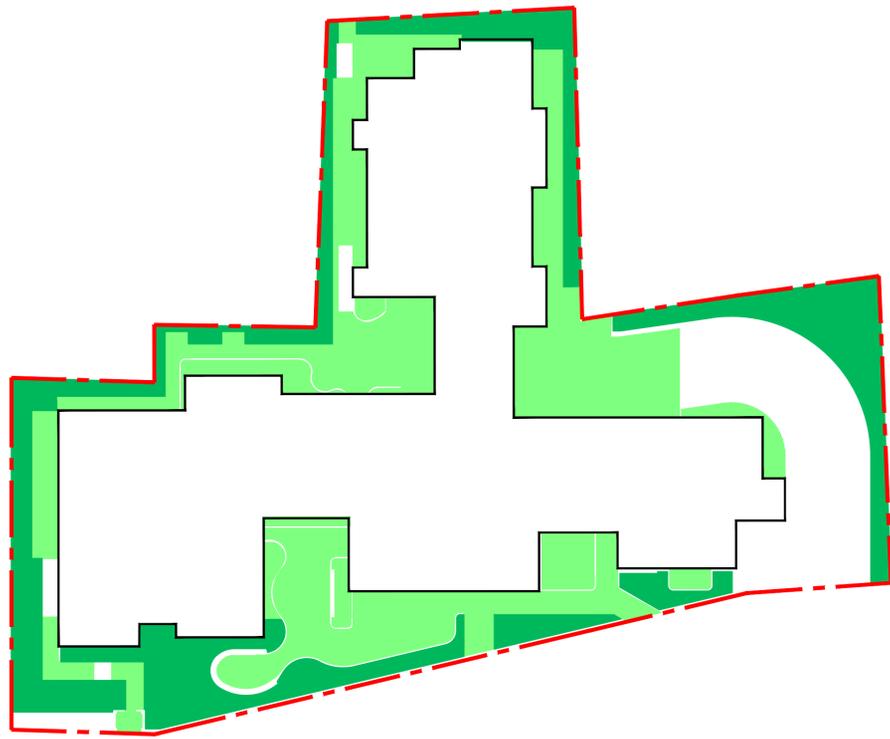


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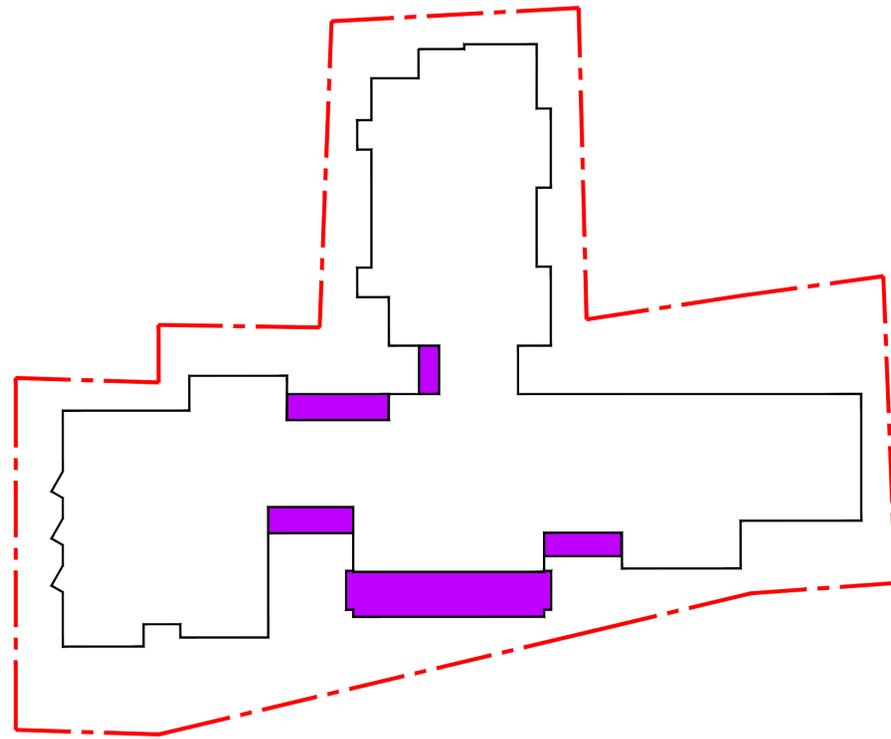
Suite 7, Level 1 Epicra, 9 Railway Street
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Email: brgrp@brgr.net

0m 2 5 10 15m
SCALE: 1:200 @ A1
SCALE: 1:400 @ A3

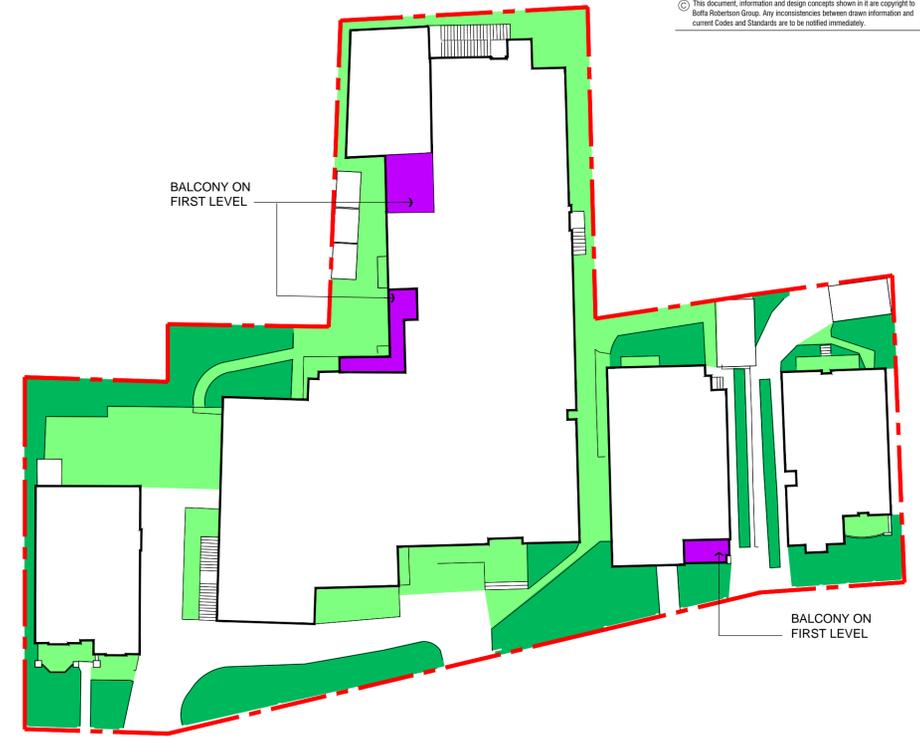
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA23a
Amendment	B		



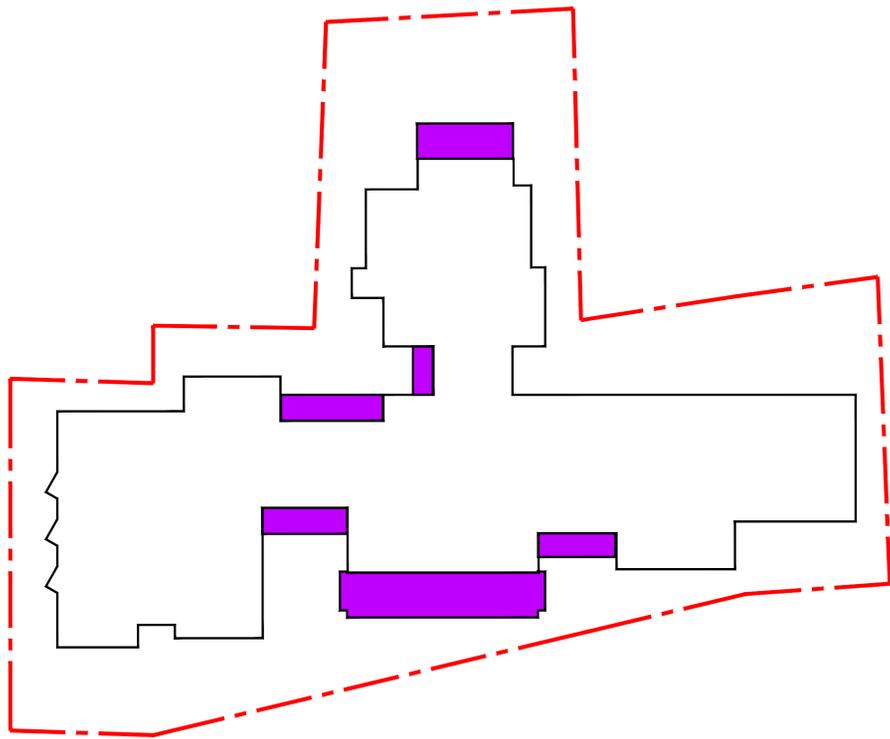
Proposed Ground Floor



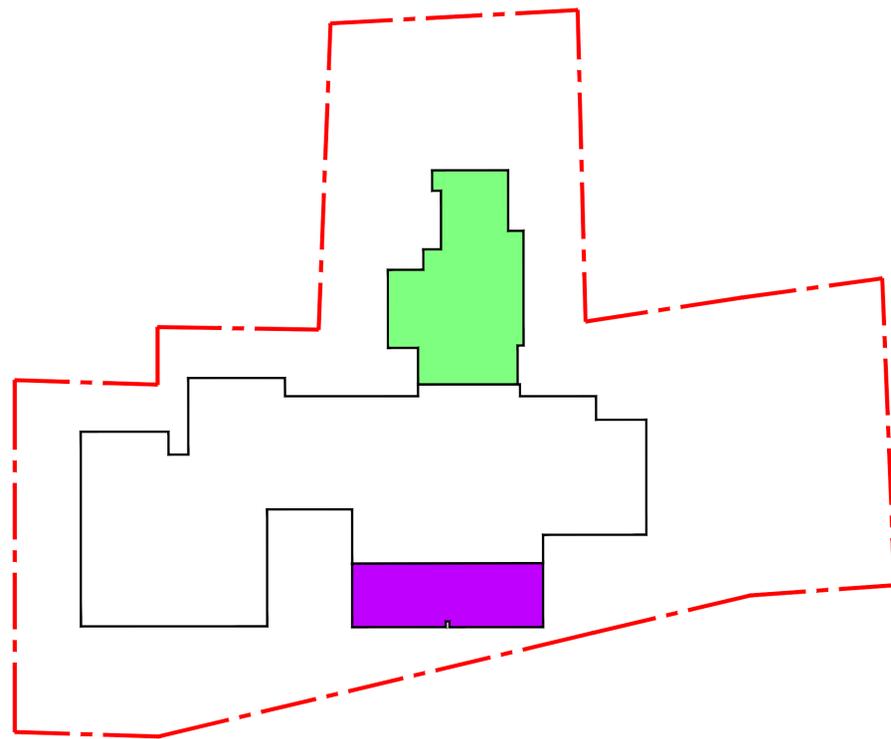
Proposed First Floor



Existing Ground floor



Proposed Second Floor



Proposed Third Floor

EXISTING LANDSCAPE CALCULATION

	DEEP SOIL AREAS	424.2 m ²
	LANDSCAPE AREAS INCLUDING DEEP SOIL AREAS	908.5 m ²
	BALCONIES AREAS	44.1 m ²
	TOTAL	952.6m ²
	DEEP SOIL	15.7% of Site Area

PROPOSED LANDSCAPE CALCULATION

	DEEP SOIL AREAS	450.7 m ²
	LANDSCAPE AREAS INCLUDING DEEP SOIL AREAS	1247.5 m ²
	BALCONIES AREAS	332.1 m ²
	TOTAL	1579.6m ²
	DEEP SOIL	16.6% of Site Area

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A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project
SUMMIT CARE
 11-19 Frenchmans Road, Randwick
 Drawing
LANDSCAPE & DEEP SOIL AREAS



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Date	JUN 2021	Job No.	: Drawing
Scale	NTS		
Drawn	VI		1912 / DA24a
Amendment	A		